



**RIDGEFIELD PLANNING COMMISSION
MEETING AGENDA**

**Wednesday, September 7, 2016
Ridgefield Community Center
210 N. Main, Ridgefield, WA 98642**

I. GENERAL SESSION CALL TO ORDER - 6:30 PM

- 1. Flag Salute**
- 2. Roll Call**
- 3. Late changes to the agenda**

II. PUBLIC COMMENT

Anyone requesting to speak to the Council regarding items not on the agenda may come forward at this time. Please state your name and address. Comments are limited to three minutes. Written comments may be submitted to the City Clerk prior to the meeting.

III. CONSENT AGENDA

- 1. Meeting Minutes - LINDSAY REGAN, PERMIT TECHNICIAN**

IV. BUSINESS

The public is invited to comment on business items at the conclusion of Council discussion prior to the vote. In cases where public record has been closed, no additional comments may be received.

- 1. Public Hearing on Pioneer Mixed Use-Overlay (Discussion & Recommendation) - ELIZABETH DECKER, CITY CONSULTANT**
- 2. Public Hearing on Commercial Design Standards (Discussion & Recommendation) - JEFF NITEN, COMMUNITY DEVELOPMENT DIRECTOR**
- 3. Parks and Trails Design Standards & Development Process (Discussion) - ELIZABETH DECKER, CITY CONSULTANT**

V. PUBLIC COMMENT

Anyone requesting to speak to the Council regarding items not on the agenda may come forward at this time. Please state your name and address. Comments are limited to three minutes. Written comments may be submitted to the City Clerk prior to the meeting.

VI. STAFF REPORTS

- 1. Community Development Department Update - JEFF NITEN, COMMUNITY DEVELOPMENT DIRECTOR**

VII. FROM THE COMMISSION

- 1. Commissioner Updates -**

The public meeting site is accessible to persons with disabilities. Accommodations for persons with disabilities can be arranged with a two week advance notice by calling the City Clerk at (360) 887-3557. For other formats or special language needs, contact the City Clerk at (360) 887-3557.

VIII. ADJOURN

**CITY OF RIDGEFIELD
PLANNING COMMISSION**

MEETING DATE: September 07, 2016

ITEM: CONSENT AGENDA

AGENDA ITEM TITLE: Meeting Minutes

SUMMARY/BACKGROUND:

STAFF CONTACT: Lindsay Regan, Permit Technician

ATTACHMENTS: 8-3-16 (PDF)

**CITY OF RIDGEFIELD, WASHINGTON
PLANNING COMMISSION MEETING MINUTES**

DATE: August 3, 2016
ATTENDANCE:
COMMISSION: Chair Jerry Bush, Vice Chair Mark Burton, Whitney Jones, and Stan Okinaka
ABSENT: Victoria Haugen and Jason Carnell
STAFF: Community Development Director Jeff Niten, Permit Technician Lindsay Regan,
 Planning Consultant Elizabeth Decker

CALL TO ORDER [6:30:11 PM](#)

Roll call

Late changes to the agenda

PUBLIC COMMENT [6:31:56 PM](#)

None

CONSENT AGENDA [6:31:16 PM](#)

1. Approval of Minutes from July 6, 2016

MOTION: Commissioner Stan Okinaka moved to approve July 6, 2016 meeting minutes

SECOND: Commissioner Whitney Jones.

[6:31:48 PM](#)

<u>Vote:</u>	6-0
Yes:	Chair Jerry Bush; Commissioner Mark Burton, Jason Carnell, Victoria Haugen, Stan Okinaka and Whitney Jones
No:	None
Abstained:	None
Absent:	None

Motion unanimously passed.

PUBLIC HEARING [6:32:17 PM](#)

1. Hearing on Pioneer Mixed-Use Overlay

Elizabeth Decker, Consulting Planner

Open Hearing [6:32:40 PM](#)

Elizabeth Decker provided a PowerPoint presentation

The City is working to develop a new mixed use overlay for areas within the Pioneer & 45th and Ridgefield Junction subareas as a part of implementation of the 2016 Comprehensive Plan. The mixed use will be an optional tool to encourage vibrant and livable developments that integrate residential, commercial and office uses at an appropriate scale for the subareas and surrounding neighborhoods.

Public comment [6:57:13 PM](#)

Rod Hathaway 2496 S 31st Ct

Was the changing the footage for the developer?

20 units per acre, that's pretty dense, what kind of people are we planning to attract to Ridgefield?

These densities are similar to North Portland

Keith Haney 141 N 40th Ave

Concur with density issues

I was the first resident in Laurel Heights and I watched a single family zone across the street turn to multi-family

The densities are going to continue to drive more and more traffic, how will our infrastructure adapt?

Sherrill Mitchell 3729 S 15th St

Really crowded, row houses are not attractive

Safety issues, if one catches on fire more always follow

The density of Pioneer Canyon is ridiculous, no room, we need more breathing space

Why pile people on top of each other?

Elizabeth Decker provided clarification for the density proposed and safety concerns

Close Hearing [7:09:09 PM](#)

2. Pioneer Mixed-Use Overlay – Discussion [7:09:18 PM](#)

Elizabeth Decker

Commissioner Burton

Town houses on 45th are right in your face and it will create a dilemma for people

There is no storage space for these people and they will need it

Why not zone those areas to begin with?

There needs to be some means to create storage for people

Commissioner Jones

Did we make the change for the storage unit?

Elizabeth Decker – Planning Consultant

Self storage is a use that everyone needs but not everyone is excited about

Doesn't give us many jobs per acre

Currently code only allows self-storage in the industrial zone

The City currently has a site plan in the pipe for a self-storage facility

We have included self-storage in the mixed use with restrictions

Jeff Niten – Community Development Director

This could be another topic of discussion in further detail later on

Chair Bush

Why do we not want vinyl fences?

The maintenance is easier than wood fences

They should be something that we consider

Commissioner Carnell
They look nicer after a couple years also

Jeff Niten – Community Development Director
The City discourages wood and vinyl because if they are not maintained they start to look weathered

Chair Bush
Where are the trail engineering standards located?

Jeff Niten – Community Development Director
Our Public Works Director holds the standards

Elizabeth Decker – Planning Consultant
Asked input about drive thru standards and if to allow them

Commissioner Jones
Not the most appropriate place for a drive thru due to safety issues, constant traffic, blockage
There are other places in the city where drive thru's will be better suited

Commissioner Carnell
What benefit does the developer get by using the mixed use overlay tool?

Elizabeth Decker – Planning Consultant
Dimensional standards
Higher density
Self storage usage
Option to mix uses

NEW BUSINESS [7:24:02 PM](#)
None

PUBLIC COMMENT [7:24:10 PM](#)

Keith Haney 141 N 40th Ave
Plan and work with developers to prohibit issues
How the drive thru is develop it can be hidden and provide safety
Drive thru's do get busy and bring revenue which help the tax base among other things
Build it right and lay is out right and it will be received nicely

STAFF REPORTS [7:25:42 PM](#)

1. Community Development Department Update

Jeff Niten provided an update to the Commission

FROM THE COMMISSION [7:26:36 PM](#)

Commissioner Haugen – Ridgefield Junction Neighborhood Association – We didn't have a meeting last month, nothing to report.

Commissioner Burton – Port of Ridgefield – The Port is putting together their design standards for the dark fiber, 40 miles of line and will start on it next spring and done within a year. We will have a large influx of young business working out of their homes working on their computers. A “locker” will be installed on 45th Ave.

Commissioner Jones – Mixed Use Stakeholders group – Discussed drive thru’s and how they may be positive such as banks, pharmacies, etc.

Commissioner Carnell – Council – National Night Out happened last night and a good success.

Chair Bush – No update.

Okinaka – Main Street - Oktoberfest is the next big event which will happen September 10th, on target to become an official Main Street Association. A third video will be released about Ridgefield.

ADJOURN [7:33:51 PM](#)

Lisa Blake

Jerrold Bush

**CITY OF RIDGEFIELD
PLANNING COMMISSION**

MEETING DATE: September 07, 2016

ITEM: BUSINESS

AGENDA ITEM TITLE: Public Hearing on Pioneer Mixed Use-Overlay (Discussion & Recommendation)

SUMMARY/BACKGROUND:

The purpose of the Pioneer Mixed Use Overlay is to encourage development of mixed-use nodes outside the central city in the Pioneer & 45th and Ridgefield Junction subareas. Mixed-use sites are intended to combine commercial, residential and office uses on sites distinguished by high-quality architectural and site design that integrate common open areas, connections between uses and to adjacent sites, and a sensitive response to environmental features.

STAFF CONTACT: Julie Basarab, City Clerk

ATTACHMENTS: PioneerMixedUseOverlay_Draft160907 (PDF)

RDC Chapter 18.235: MIXED USE DISTRICTS

18.235.010 – Purpose

- A. The purpose of the downtown and waterfront mixed-use districts is to encourage multiple uses within the unique areas that make up Ridgefield's central downtown and waterfront areas. The mixed-use districts include the older commercial and residential core of Ridgefield, the waterfront business center and a waterfront residential area that accommodates floating homes. The three districts are tied together by geography, varying proximity to Lake River, transportation links and public infrastructure. Each district has a distinct character and opportunities, to be emphasized through use and design standards tailored to each of the three districts.
- B. The downtown and waterfront mixed-use districts shall allow for a mix of uses in a single building or across an integrated site of multiple buildings, and across the district more broadly. Mixed-use developments are intended to allow for efficient use of land and public services in an urban setting; encourage human interaction and sense of place; create safe, attractive and convenient environments; and increase development flexibility.
- C. Views of the Lake River shoreline and the Ridgefield National Wildlife Refuge are prominent visual features in the central core of Ridgefield. It is the intent of the Lake River View Protection Overlay District (LRVP) to protect these views in order to provide for a unifying feature across all three the downtown and waterfront mixed-use districts.
- D. The purpose of the Pioneer Mixed Use Overlay is to encourage development of mixed-use nodes outside the central city in the Pioneer & 45th and Ridgefield Junction subareas. Mixed-use sites are intended to combine commercial, residential and office uses on sites distinguished by high-quality architectural and site design that integrate common open areas, connections between uses and to adjacent sites, and a sensitive response to environmental features.

Proposed: 18.235.060 – Special provisions for the Pioneer Mixed-Use Overlay (PMUO)

A. Purpose. The PMUO is intended to create mixed-use nodes to implement the subarea plans for Pioneer & 45th and the Ridgefield Junction by:

1. Providing flexible development opportunities by allowing an optional mix of commercial, residential, and office uses.
2. Creating vibrant, livable, and attractive communities through sustainable design, distinct architecture and site design that respond to the site context.
3. Creating walkable communities with connections within and between sites.
4. Promoting sensitive treatment of environmental features including critical areas and vegetation.
5. Creating and maintaining usable open spaces for the enjoyment of residents, patrons, employees and the public, that connect to natural features on and off site.
6. Managing transitions between uses on sites and neighboring properties to avoid conflicts between potentially incompatible uses.

B. Applicability.

1. The PMUO is an optional overlay to may be applied within the Pioneer & 45th and Ridgefield Junction subareas, as defined in the current adopted subarea plans for the districts, when initiated by the property owner through an approved master plan, through procedures outlined in RDC 18.235.060.Q.
 - a. The provisions of this section may be applied to any parcel or aggregation of contiguous parcels under an applicant's common ownership or control of 10 acres or greater.
 - b. PMUO master plans may be applied to parcel(s) with CNB, CCB, CRB, OFF or RMD-16 zoning.
2. In the event of conflict between the base zone standards and the standards of this section, the provisions of this section shall apply.

C. Uses

1. The use regulations for the underlying zone for permitted, limited, conditional and prohibited uses in RDC 18.205 shall apply with the exceptions and additions noted in this section. Use categories are as defined in RDC 18.100 unless otherwise defined or amended in this section.
2. The following additional uses are allowed as permitted uses under the PMUO overlay:
 - a. On PMUO sites with CRB, CCB, CNB base zoning:
 - i. Single-Family Attached Residential
 - ii. Cottage Homes meeting the standards of RDC 18.210.150. All other Single-Family Detached Residential uses are prohibited.
 - iii. Home Occupation
 - iv. Multifamily Residential
 - v. Hotel and Motel
 - vi. Community Recreation and Social Facility
 - vii. Conference Center
 - viii. Nursing and Personal Care Facility
 - ix. Self-storage. Must be located on a PMUO site with residential use, limited to no more than 20 percent of the gross site area, and located to the rear or side of the site such that it does not occupy more than 20 percent of the street frontage. All other Warehousing uses are prohibited.
 - b. On PMUO sites with OFF base zoning:
 - i. Single-Family Attached Residential
 - ii. Cottage Homes meeting the standards of RDC 18.210.150. All other Single-Family Detached Residential uses are prohibited.
 - iii. Home Occupation
 - iv. Multifamily Residential

- v. Community Residential Facility
 - vi. Hotel and Motel
 - vii. Artisan and Specialty Goods Production as a limited use consistent with limitations in RDC 18.205.030.
 - viii. General Retail Trade/Services
 - ix. Eating and Drinking Establishment
 - x. Indoor Entertainment Facility
 - xi. Nursing and Personal Care Facility
 - xii. Self-storage. Must be located on a PMUO site with residential use, limited to no more than 20 percent of the gross site area, and located to the rear or side of the site such that it does not occupy more than 20 percent of the street frontage. All other Warehousing uses are prohibited.
- c. On PMUO sites with RMD-16 base zoning:
- i. Bed and Breakfast
 - ii. Hotel and Motel
 - iii. General Retail Trade/Services
 - iv. Eating and Drinking Establishment
 - v. Artisan and Specialty Goods Production as a limited use consistent with limitations in RDC 18.205.030.
 - vi. Office
 - vii. Community Recreation and Social Facility
 - viii. Conference Center
 - ix. Religious Institution
 - x. Cultural Institution
 - xi. Medical Clinic/Laboratory
 - xii. Nursing and Personal Care Facility as a permitted use
 - xiii. Self-storage. Must be located on a PMUO site with residential use, limited to no more than 20 percent of the gross site area, and located to the rear or side of the site such that it does not occupy more than 20 percent of the street frontage. All other Warehousing uses are prohibited.
3. Prohibited uses within a PMUO site include:
- i. Motor Vehicle Related Use
 - ii. Gasoline Service Station
 - iii. Drive-up, drive-in and drive-through facilities in connection with any General Retail Trade/Services, Eating and Drinking Establishment, or other use.

- iv. Animal Kennel and Shelter
- v. Recreational Vehicle Park
- vi. Freight/Cargo Movement and Storage
- vii. Fleet Service
- viii. Warehousing, except self-storage.
- ix. Wholesale Retail
- x. Public Agency or Utility Yard
- xi. Broadcasting and Telecommunications Facility
- xii. Interim Recycling Facility, except for drop-box facilities for the collection and temporary storage of re-usable materials as an accessory use.
- xiii. Waste-Related Facility
- xiv. Bus Base

D. Required Mix of Uses. Each PMUO site must include a mix of uses within a single unified development that incorporates the planned integration of commercial, employment and residential land uses. Mixed-use projects may be vertically oriented in one or more buildings, or geographically distributed across a development site.

1. For PMUO sites in the CRB, CCB, CRB underlying zones, the site must include a minimum of 20 percent and a maximum of 60 percent of uses included within the 'Residential General' or 'Group Residences' category of RDC Table 18.205.020-1 as measured by net developable acres or gross floor area.
2. For PMUO sites in the OFF underlying zone, the site must include a minimum of 20 percent and a maximum of 60 percent of uses other than those included within the 'Employment' category of RDC Table 18.205.020-1 as measured by net developable acres or gross floor area.
3. For PMUO sites in the RMD-16 underlying zone, the site must include a minimum of 20 percent and a maximum of 60 percent of uses other than those included within the 'Residential General' or 'Group Residences' category of RDC Table 18.205.020-1 as measured by net developable acres or gross floor area.

E. Lot Requirements. The following lot requirements supersede those of the base zones.

1. Minimum lot size for residential uses, regardless of base zone, is 2,000 square feet with a minimum lot width of 20 feet.
2. Minimum lot size for all non-residential uses and upper-story residential above non-residential uses, regardless of base zone, is 5,000 square feet with a minimum lot width of 50 feet.
3. Flag lots are specifically discouraged unless there is no practicable alternative as determined by the City Engineer.

F. Dimensional Standards. The following dimensional standards supersede those of the base zones.

	Residential uses	Non-residential uses and upper-
--	------------------	---------------------------------

		story residential above non-residential uses
Maximum height	3 stories up to 45 feet, or 4 stories if first floor is used for parking with no residential units	45 feet in RMD-16, CNB base zones 65 feet in CCB, CRB, OFF zones
Ground floor minimum structural ceiling height	n/a	13 feet
Minimum front and street side yard setback	10 feet	0 feet
Maximum front and street side yard setback	20 feet	10 feet on streets not classified as arterials or collectors
Minimum side setback	5 feet, or 0 feet for attached single-family residential use	10 feet plus 1 foot for every 2 feet of height above 35 feet from adjacent RLD, RMD or P/OS zones 0 feet for all others
Minimum rear setback	5 feet	
Minimum residential garage setback ¹	18 feet	n/a
Maximum building coverage	65%	80%
Maximum impervious surface coverage	75%	90%

Notes:

1. For garages oriented towards the front or street side property line, as measured from the property line. No minimum setback applies to garages oriented towards a rear alley.

G. Density.

1. The minimum density for PMUO sites is 8 units per net developable acre and the maximum is 28 units per net developable acre, based on total net developable acres developed for residential use.
2. Upper-story residential use above a non-residential use, other than parking, is exempt from the minimum and maximum density standards.

H. Site Design Standards.

1. Development under the PMUO shall comply with the site design standards in RDC 18.230.050 for commercial districts.

I. Architectural Design Standards.

1. Development under the PMUO shall comply with the architectural design standards in RDC 18.230.055 for commercial districts.

J. Open Space Requirements.

1. Not less than 10 percent of the net developable area shall be designated for open space for community or site-user activity. Such activity space may be planned and designed for recreational use or involvement by residents, employees, site visitors and/or the general public.
2. Open space may include plazas and outdoor dining areas; gardens and landscaped areas; parks or park features such as playground equipment or sport courts, trails, and other active recreation facilities as defined in RDC 18.100; community gardens; common roof decks, balconies, and patios; and other areas deemed materially similar by the Planning Director. Open space amenities may include benches and outdoor seating, water features, drinking fountains, public art, distinctive paving, and/or other similar features.
3. Critical areas and buffers, stormwater facilities, and interior parking lot landscaping required by RDC 18.720.040.C.2 may not be counted towards the required open space. However, the integration of critical areas and buffers and stormwater facilities with the open space areas is encouraged to provide an enhanced site design and cultivate a relationship to the site's environmental amenities.
4. Easements or dedications for system trails identified in the Parks & Recreation Comprehensive Plan must be provided across the site and may count towards the open space requirements. The site shall also incorporate local trails on site to connect all portions of the site to any system trail. All trail corridors and trail development shall comply with the Engineering Standards.

K. Outdoor Uses.

1. Active outdoor uses such as café seating, outdoor vending such as food or beverage carts, and display of goods for purchase are encouraged and may occupy up to 20 percent of the net developable site area. Outdoor uses may be located within open space required under RDC 18.235.060.J.
2. Outdoor storage may not exceed 10 percent of the net developable site area and shall be screened by a fence or landscaping to a value of eighty percent year-round opacity from public view.
3. Outdoor uses in the public right-of-way require approval by the Public Works Director through the master plan or site plan review process. The sidewalk area may be used for outdoor dining, sales areas or similar use provided a six-foot wide pedestrian zone is maintained. Outdoor uses shall be defined relative to the pedestrian zone with movable planters, bollards, movable fence, or other similar means of separation.

L. Signs. All signs shall comply with the standards of RDC 18.710 relative to the site's base zone, with the following exceptions:

1. Non-residential uses on a PMUO site in the RMD-16 base zone shall comply with the standards for signs in the CNB zone per RDC 18.710.050.B.
2. Additional entry or gateway signs shall be permitted along the perimeter of the mixed-use development identifying the development, with a maximum allowed sign area for each sign of ten

square feet times the total gross acreage for the mixed-use development not to exceed 250 square feet.

- a. One sign may be located at each of the entrances into a mixed-use development, or two signs at both sides of an entrance.
- b. One sign may be located at each public street intersection on which the mixed-use development has street frontage.
- c. One sign may be oriented to the I-5 freeway (if applicable).
- d. Maximum sign height shall not exceed 25 feet.

M. Lighting. All lighting shall comply with the standards of RDC 18.715.

N. Off-Street Parking and Loading. All off-street parking and loading shall comply with the standards of RDC 18.720, with the following exceptions:

- 1. Parking requirements for the PMUO site shall be calculated separately for the proposed uses under RDC 18.720.030 but the applicant is encouraged to develop a plan for joint use of facilities under RDC 18.720.020.B. to reduce the total amount of parking needed. The Planning Director shall consider the mixed-use nature of the site and the potential for users of the site to access more than one use without generating additional parking needs when reviewing the joint use of facilities proposal.
- 2. On-street parking on public streets adjacent to the development may be counted towards the minimum required parking spaces under RDC 18.720.030.
- 3. Slip lane parking lots are permitted along the street frontage of arterial or collector streets, and are exempt from the 50 percent street frontage limitation for parking lots in RDC 18.720.040.C.1.
 - a. Slip lane parking lots may consist of one, one-way drive aisle and one row of parking stalls arranged parallel or angled, meeting the dimensional standards of RDC Table 18.720.040-1. The combined width of the drive aisle and parking stalls shall not exceed 44 feet.
 - b. Slip lane parking lots shall include a sidewalk with a minimum width of 5 feet between the parking lot and the interior of the site, running the full length of the slip lane parking lot.
 - c. Along a minimum of 75% of the length of the slip lane parking lot, buildings shall be set back no more than 5 feet from the back edge of the required sidewalk.
 - d. Buildings fronting the slip lane parking lot shall provide a primary pedestrian entrance directly facing the parking lot.
 - e. Where practicable, slip lane parking lots shall extend to the edge of the property line to allow seamless continuation along the adjoining properties.
 - f. Slip lane parking lots shall only be allowed if the Public Works Director approves access onto the arterial or collector, which may include limitations on driveway spacing and restricted turn movements.

O. Landscaping.

- 1. Residential portions of PMUO sites shall provide 25 percent of the site area as landscaping.

2. Non-residential portion of PMUO sites shall provide 10 percent of the site area as landscaping.
3. Total landscaping required for the project may be averaged across the site provided the requirements for the residential and non-residential portions are met and the landscaping is arranged so that there is physical and visual access from all portions of the site.
4. The exterior perimeter of PMUO sites shall include a 10-foot landscaping buffer to an L2 standard along the side and rear property lines and along any parking areas along the front or street side property lines.
5. Any natural areas to be retained as part of the required landscaping shall be maintained with their existing native vegetation and/or enhanced with supplemental plantings of native tree, shrub, and ground cover species as listed in RDC 18.830 to provide scenic, environmental and wildlife habitat value.

P. Fences. Fences shall comply with the standards of RDC 18.740 with the following additional standards:

1. Fences shall be made of material that is compatible with the building design, such as repetition of the building material on fence columns and/or stringers. Fence materials shall be durable and attractive, and may include stone, finished concrete, brick, metal or similar materials.
2. Wood, chain link, or vinyl fences are discouraged and may only be used in combination with trellis, landscaping, or other similar design treatments.
3. Barbed wire, razor wire, electric and other dangerous fences are prohibited unless such fences are required by law or the applicant can demonstrate a significant security risk.

Q. Procedure.

1. A pre-application conference is required for a PMUO master plan per RDC 18.310.030.
2. The PMUO master plan shall be reviewed through a Type III procedure per RDC 18.310.080. The master plan may be reviewed concurrently with any related applications such as subdivision or site plan review. Master plan applications must include:
 - a. Boundaries of the Site and Existing Conditions. The master plan must show the boundaries of the master plan area and existing conditions such as environmental constraints, utility services, existing structures and uses and existing transportation improvements.
 - b. General Statement. The master plan must include a narrative that generally describes the uses and development concept for the master plan area, and responds to all of the applicable standards in this chapter and elsewhere in the RDC. The statement shall include calculations of total gross acres; approximate net developable acres, gross floor area and residential density, if proposed, of proposed uses; area of public rights-of-way and other infrastructure; area of common open space and landscaping; and area of critical areas.
 - c. A SEPA Checklist.
 - d. Master Plan. The master plan must generally show the proposed division of land and distribution of proposed uses. The plan must include:
 - i. The location of all existing and proposed buildings, structures and other improvements, indicating proposed use category (e.g. residential, commercial).

- ii. The location and size of all areas to be conveyed, dedicated or reserved as common open spaces, public parks or trails, recreation areas, and similar public or semipublic uses.
 - iii. The existing and proposed circulation system of streets, including off-street parking areas, service areas, loading areas and major points of access to public rights-of-way.
 - iv. The existing and proposed pedestrian circulation system.
 - v. The existing and proposed utility systems, including sanitary sewers, stormwater facilities, and water.
 - vi. The proposed treatment of the perimeter of the master plan area, including materials and techniques used such as screens, fences and walls.
 - vii. The existing and proposed landscaping, including natural areas to be retained, and critical areas and buffers.
- e. **Development Standards.** The applicant may propose modifications to development standards in this section or the base zone standards for development under the master plan. The applicant must detail how the proposed modifications contribute to creation of a better site and meet the purpose and approval criteria for this overlay, in lieu of review under RDC 18.350.
- f. **Phasing of Development.** The master plan shall include the proposed development phases, probable sequence of future phases, estimated dates and interim uses of the property awaiting development.
- g. **Transportation and Parking.** The applicant shall provide information on the following items for each phase:
- i. **Projected Transportation Impacts.** Provide a traffic impact analysis that includes the expected number of trips (peak and daily), an analysis of the impact of those trips on the street system, and the proposed mitigation measures. Mitigation measures may include improvements to the street system or specific programs to reduce traffic impacts, including transportation demand management techniques, such as encouraging the use of public transit, carpool, vanpools, adjustment of work hours and other alternatives to single occupancy vehicles.
 - ii. **Parking Plan.** Provide an estimate of parking needs and locations including opportunities to reduce overall parking for the site through joint use of facilities.
3. Site plan review consistent with RDC 18.500 is required for development of individual sites within the master plan area. Development must demonstrate compliance with the approved master plan as part of the site plan review.
4. A PMUO master plan shall expire five years from the date of final approval thereof. For master plans approved as multi-phased development, approval for the first phase of development shall expire after five years from the date of final approval of the master plan and each subsequent phase must be completed within five years after. For purposes of this section, recording of a final plat, issuance of a site plan approval, or issuance of a building permit for the phase of development described in the approved master plan shall constitute completion of a phase.

5. Extensions. A master plan may be extended for a period of up to two years upon application. Approval of the extension shall be done by the City Council through a development agreement. Extensions are subject to the following criteria and conditions:

- a. The applicant must make written requests for an extension at least sixty days prior to the expiration of the preliminary plat approval;
- b. There have not been any substantial changes in the laws governing the development of the site with which lack of compliance would be contrary to public health, safety and welfare;
- c. The applicant shall demonstrate that the applicant has pursued final platting in good faith in light of surrounding circumstances but has been delayed:
 - i. By extensive environmental permitting times;
 - ii. Extensive studies required by conditions of approval which took longer than anticipated; or
 - iii. There are specific verifiable extenuating circumstances or conditions beyond the control of the applicant as deemed appropriate by the City Council.

5. Amendments to approved master plans shall be reviewed through the post-decision review process per RDC 18.310.160.

**CITY OF RIDGEFIELD
PLANNING COMMISSION**

MEETING DATE: September 07, 2016

ITEM:

AGENDA ITEM TITLE: Public Hearing on Commercial Design Standards (Discussion & Recommendation)

SUMMARY/BACKGROUND:

The design standards of this chapter are intended to encourage building design and site planning so that development relates visually and physically to the surrounding area, compliments the existing character of specific neighborhoods, and promotes pedestrian activity. The standards are also intended to provide options that allow for creativity and diversity in project design and increase public awareness of design options while ensuring the goals and intent of the Comprehensive Plan are met. The design elements are intended to foster a cohesive pattern of development that supports pedestrian activity. These standards shall apply to property zoned Commercial Neighborhood Business (CNB), Commercial Community Business (CCB), and Commercial Regional Business (CRB) within the City boundary.

STAFF CONTACT: Julie Basarab, City Clerk

ATTACHMENTS: 18.230Commercial_CleanDraft160831 (DOCX)

RDC 18.230 – COMMERCIAL DISTRICTS

18.230.010 Purpose

A. The purpose of the commercial districts is to encourage multiple commercial uses within each district of appropriate scale relative to the surrounding districts. The commercial districts implement RUACP policies that promote commercial development that meets local and regional needs, with particular emphasis on low-intensity neighborhood commercial development.

1. The purpose of the neighborhood business (CNB) zone is to allow for-low intensity office, business, retail and service uses located on or with convenient access to arterial streets. Development is intended to serve the needs of the surrounding neighborhood.
2. The purpose of the community business zone (CCB) is to provide location for a wide variety of business activities, such as convenience and comparison retail, personal services for local needs, and to allow for limited higher-intensity residential opportunities as part of mixed use developments.
3. The purpose of the regional business (CRB) zone is to provide for the location of integrated complexes made up of business and office uses serving regional market areas with significant employment opportunities. Such a zone requires accessibility to regional transportation corridors. Development of taller buildings, a mix of uses excluding residential, and transit supportive uses are encouraged in this zone.

B. The city encourages building design and site planning so that development relates visually and physically to the surrounding area, compliments the existing character of specific neighborhoods, and promotes pedestrian activity.

C. Design in commercial zones should protect residential neighborhoods adjacent to commercial zones from intrusion in their privacy, character, and quality of life.

D. Commercial development should provide a pedestrian environment with amenities, visual interest, and safety features which encourage more people to use these areas.

18.230.040 Lot requirements

A. The minimum lot area shall be as follows:

1. CNB: Five thousand square feet.
2. CCB: Ten thousand square feet.
3. CRB: Ten thousand square feet.

B. There are no maximum lot area standards in the CNB, CCB, or CRB zones.

C. The minimum lot width for all zones shall be fifty feet.

18.230.045 Dimensional standards

A. Dimensional standards shall comply with Table 18.230.035-1. Additional landscaping buffers may apply that exceed the minimum setbacks listed below; see RDC 18.725.055-1.

	CNB	CCB	CRB
Minimum front or street side yard setback along pedestrian street (1)	0 feet	0 feet	0 feet
Maximum front or street side yard setback along pedestrian street (1)	10 feet	10 feet	20 feet
Minimum front or street side yard setback along major corridor (1)	5 feet	10 feet	10 feet
Maximum front or street side yard setback along major corridor (1)	20 feet	25 feet	30 feet
Minimum side or rear yard (interior) setback:			
Abutting RLD or RMD zones (2)	10 feet	20 feet	20 feet
Not abutting one of the above	0 feet	5 feet	5 feet
Maximum height	35 feet (2)	60 feet	65 feet (3)
Maximum impervious surface coverage	85%	85%	90%

Table Notes:

(1) Front and street side yard setbacks shall be measured from the property line as defined in RDC 18.100.046, except that front and street side yard setbacks on properties incorporating a slip lane parking lot as allowed per RDC 18.230.080.xx shall be measured from back edge of the required sidewalk between the parking area and the interior of the site.

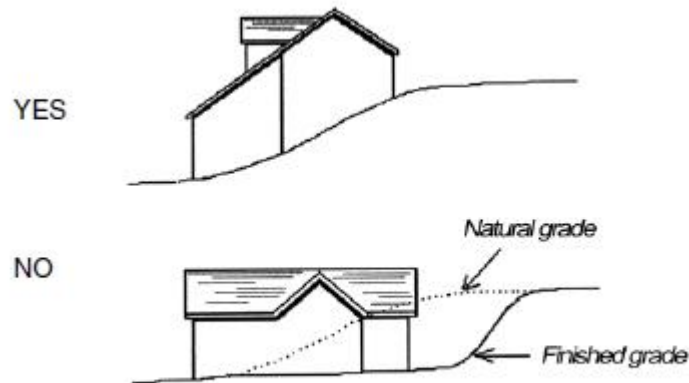
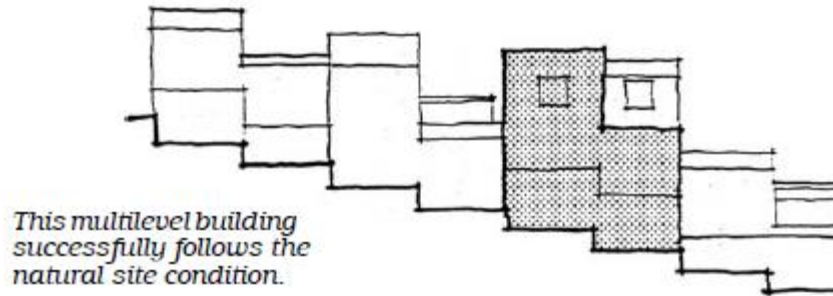
(2) Bonus height for mixed use development in the CNB zone: In order to provide flexibility in types of housing and to meet the policies of the RUACP promoting mixed-use development, the base height may be increased for mixed-use development with at least one story of residential use up to 45 feet. Residential dwelling units shall not occupy the ground floor.

(3) Maximum height for hospital uses in the CRB zone is one hundred eighty feet.

18.230.050 Site Planning

A. Topography. Site design should preserve and maximize the use of natural features and reduce adverse impacts on existing natural features.

1. Retain natural topography to the extent practicable by designing buildings and parking lots to fit natural slopes.



2. The grade difference between building entrance and nearest public right-of-way shall not exceed 10 feet, and intervening setback shall not exceed a slope of 1:1.
3. Retaining walls shall not exceed six feet high to promote more gradual, terraced development working with the natural slopes.

B. Types of street frontage. Development standards are differentiated based on two types of street frontages:

1. Pedestrian streets. Pedestrian streets include all collectors and local streets, as classified in the City's Transportation Capital Facilities Plan. Pedestrian streets are intended to be developed with a "main street" feel that generally includes on-street parking, wide sidewalks with pedestrian amenities, buildings close to the sidewalk, and pedestrian-scale building design with minimal inactivated space such as parking lots.
2. Major corridors. Major corridors include all arterials and minor arterials, as classified in the City's Transportation Capital Facilities Plan. Major corridors are intended to serve primarily as vehicular access routes with less pedestrian activity, where medium to large-scale commercial development is anticipated.

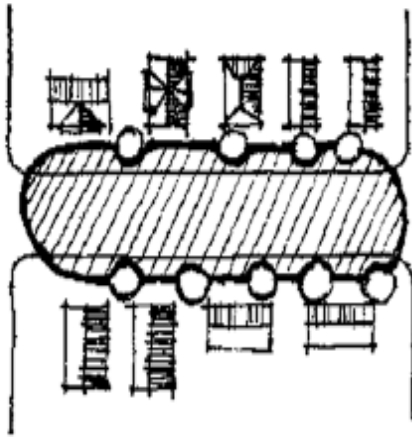
C. Street frontage.

1. For commercial development along pedestrian streets, buildings and/or common open space must be placed within the minimum and maximum setback area along a

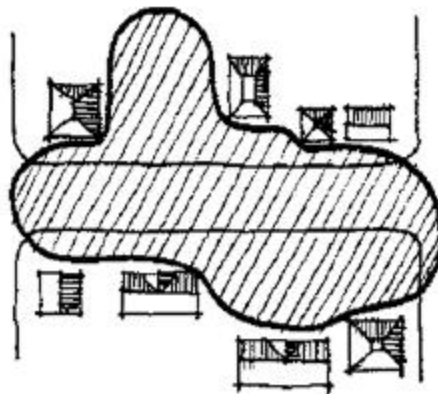
minimum of 80 percent of the site's street frontage not encumbered by critical areas or significant vegetation.

2. For commercial development along major corridors, buildings and/or common open space must be placed within the minimum and maximum setback area along a minimum of 50 percent of the site's street frontage not encumbered by critical areas or significant vegetation.

Consistent streetfront setback produces organized spatial enclosure.



Inconsistent setback and site design produces irregular and often incoherent enclosure.



- a. Enhanced landscaping buffers may be substituted as an alternative to buildings and/or common open space to satisfy this standard provided the

enhanced landscaping buffer extends the full distance from the property line to the maximum setback line and is developed to an L4 standard.

b. On sites that incorporate a slip lane parking lot as allowed per RDC 18.230.080.C, buildings and/or common open space must be placed within the minimum and maximum setback area as measured from back edge of the required sidewalk between the parking area and the interior of the site.

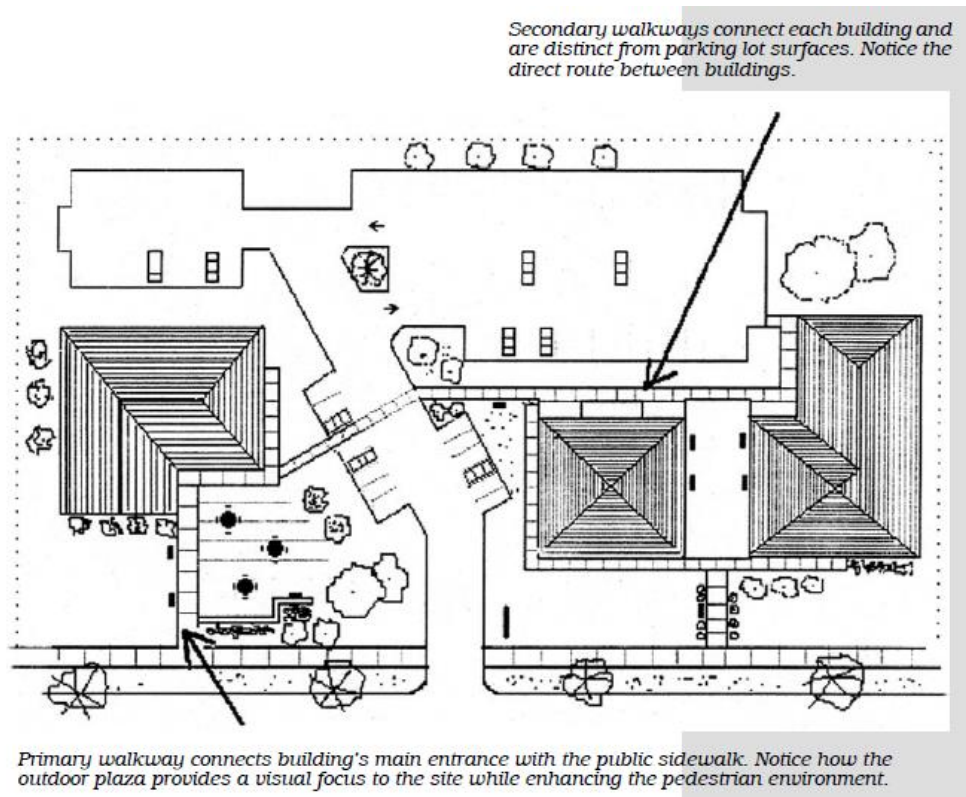
3. For developments located on a corner lot where at least one street frontage is a pedestrian street, buildings and/or common open space must be placed within the minimum and maximum setback area along both street frontages for a minimum of 100 feet or 25% of the street frontage length, whichever is less, beginning from the corner of the lot, excepting any portion of the street frontage encumbered by critical areas or significant vegetation. Sites must also meet the overall requirement for buildings and/or common open space along the site's street frontage in subsections (1) and (2) above, and may count buildings and/or common open space developed under this subsection towards the overall requirement.

4. The area between the property line and the buildings and/or common open space, with the exception of any pedestrian connections, shall be fully landscaped to an L2 standard.

D. Pedestrian Connectivity. Sites shall establish internal and external pedestrian connections throughout the development.

1. Provide an external pedestrian connection between the building's primary entrance and the primary frontage street.
2. Provide internal pedestrian connections between individual buildings, though parking areas, and between parking areas and buildings, superseding requirements for pedestrian access corridors per RDC 18.720.040.C.5. Public sidewalks may be considered part of the internal pedestrian circulation system if they provide convenient connections between buildings and/or parking areas.
3. For large development sites over two acres, the combined external and internal pedestrian connection system shall provide cross-circulation functionally equivalent to a street grid by providing through connections no less than every 500 feet.
4. Internal and external pedestrian connections must meet all of the following requirements:
 - a. Provide connections via the most direct route.
 - b. Separate pedestrians safely from motor vehicle traffic, except for crossings of vehicle travel ways.
 - c. Be a minimum of five feet wide. External pedestrian connections shall be a minimum of eight feet wide for developments with a ground floor area in excess of 20,000 square feet.
 - d. Be well lit with pedestrian-scale lighting at a level averaging at least 2 foot candles and with free-standing or building-mounted lighting fixtures mounted no higher than 14 feet.

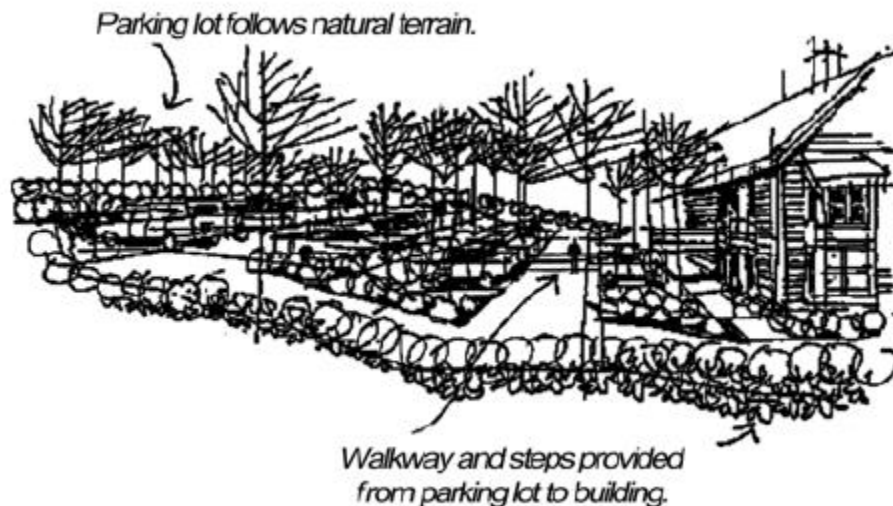
- e. Be accented with landscaping buffers a minimum of five feet wide including trees a minimum of every 25 feet, shrubs at the rate of one per 20 square feet of landscaped area, and groundcover sufficient to provide at least 85 percent coverage of the landscaped area. One side of all pedestrian connections must be landscaped except for crossings of vehicle travel ways.
- f. Use concrete or other approved unit-paving surfaces distinct from parking lot surface by texture, pattern, and/or color to differentiate and maximize the visibility of the pedestrian path. Path shall be elevated six inches above parking lot grade except for crossings of vehicle travel ways. Superficial treatments such as painted pedestrian paths are not sufficient to meet this requirement. Paint may be used only in combination with other techniques.
- g. Crossings of vehicle travel ways shall be well articulated with pavement markings, pedestrian warning signs, and lighting.



E. Building entrances.

1. Buildings must have a primary entrance that incorporates at least two of the following entry enhancement features:
 - a. At least one hundred square feet of landscaping or planters incorporating trees, shrubs, and/or flowers, in addition to the minimum landscaping requirements for the site;

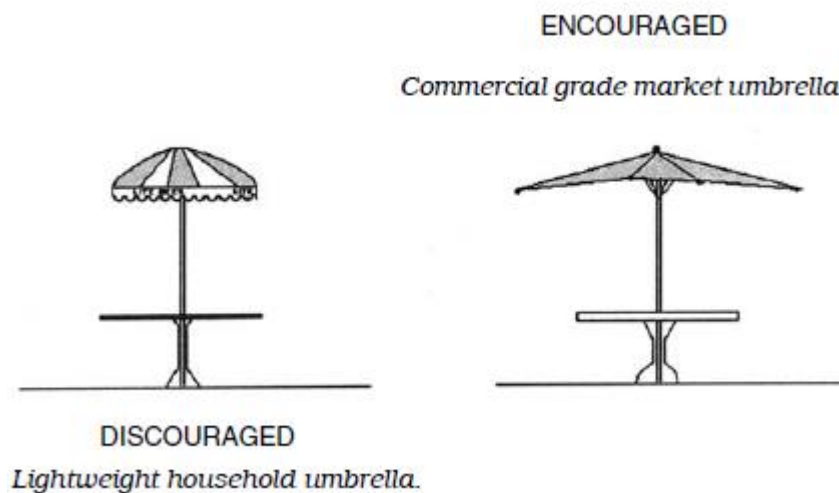
- b. At least one hundred square feet of paving materials different from the street sidewalk or parking lot surfacing;
 - c. At least one hundred square feet of awning, marquee, or arcade over the entry where the feature is at least eight feet above the walking surface and projects at least five feet horizontally from the structure;
 - d. Decorative outdoor features such as benches, fountains, sculptures or other similar features as determined by the Planning Director;
 - e. Entry recessed or projected from the facade surface by at least three feet; or
 - f. Pedestrian-scale accent lighting.
2. Buildings along pedestrian streets are required to have a primary entrance facing the street providing primary access to the site. Entrances shall be built to the sidewalk's edge or be connected to the sidewalk with a direct external pedestrian connection.



3. Buildings along major corridors are encouraged to have a primary entrance facing the street providing primary access to the site. As an alternative, the primary entrance may face a parking area or secondary access street provided that a secondary entrance is provided that faces the street providing primary access to the site. A secondary entrance shall be built to the sidewalk's edge or be connected to the sidewalk with a direct external pedestrian connection.

F. Outdoor common areas. Common areas encourage outdoor activities and leisure in outdoor spaces associated with commercial development. For developments with 5,000 square feet or more gross floor area, excluding area of garages, warehouses and similar unheated support structures, outdoor common areas equal to five percent of the gross floor area is required.

1. The minimum size for a common area is 250 square feet, with a minimum dimension of 10 feet. Fewer, larger common areas are strongly preferred over multiple, smaller common areas.
2. Common areas shall be in high pedestrian traffic locations within the development such as along street frontages, on lot corners, along internal or external pedestrian connections, or near building entrances. Common areas shall not be located in isolated or undevelopable space where low pedestrian traffic is anticipated.
3. Common areas must be accessible to users of the site but do not need to be made accessible to the general public.
4. Common areas must be accessible by internal and/or external pedestrian connections.
5. Common areas shall be developed as one of, or a combination of, the following:
 - a. Patio, deck or balcony attached to building, provided area can be accessed from the building's exterior.
 - b. Plaza with colored or textured pavement surface, e.g., brick, stone, exposed aggregate concrete or colored and textured concrete. To provide pattern and enhance the texture of the pavement, any concrete surfaces shall be scored or otherwise divided into smaller sections.
 - c. Landscaping areas of grass, trees, shrubbery and flowers, combined with paths and pavement areas for tables and/or benches.
 - d. Other similar areas approved by the Planning Director.
6. Common area amenities must include a minimum of one bench or table and one trash receptacle per 250 square feet. Amenities may also include water feature, raised landscaping planter beds, drinking fountain, moveable seating such as for outdoor dining, distinctive paving, and/or public artwork. All outdoor furnishings shall be commercial grade designed for heavy public use.



7. Pedestrian-scaled lighting is required at a level averaging at least 2 foot candles throughout the area. Lighting may be free-standing or building-mounted and shall not be mounted higher than 14 feet.

8. The following are not allowable as part of outdoor common areas:

- a. Asphalt pavement.
- b. Adjacent and unscreened chain link fences, dumpsters or service areas.
- c. Unscreened blank walls.

9. Active use of outdoor common areas is encouraged provided it does not impede pedestrian flow along adjacent pedestrian connections or public sidewalks. Allowed activities within common areas, subject to area limitations in RDC 18.230.110, include:

- a. Food or flower carts, limited to one portable food or flower cart for common areas less than 1,000 square feet and two carts for common areas 1,000 square feet or greater. Carts must be portable and be stored away after hours.
- b. Temporary art displays or performances.
- c. Outdoor sales such as a sidewalk sale or farmers market. Commercial activity by vendors with no permanent indoor vending space on the property must be reviewed through either site plan review for recurring uses per RDC 18.500 or temporary use review consistent with RDC 18.205.015(F).
- d. Outdoor seating.
- e. Transit stops, coordinated with transit service provider.
- f. Similar active uses as determined by the Planning Director.

G. Service areas shall be located and screened to minimize negative visual impacts from the public right-of-way, within the site, and from adjacent users.

1. Loading areas, service areas, and outdoor storage areas shall be located in the areas of the site least visible from the public right-of-way and on-site pedestrian connections, typically in the rear or sides of the building, and shall be screened from view by a fence, landscaping to a value of eighty percent year-round opacity, or a combination of both. Fences shall be masonry or similar materials, and shall not be chain link.

2. Garbage collection and recycling areas, not including individual trash receptacles for public use, must be in an enclosed area and located in the areas of the site least visible from the public right-of-way and on-site pedestrian connections, typically in the rear or sides of the building. Enclosures should be complementary in design to the main buildings, and shall be constructed of fencing, walls, landscaping to a value of eighty percent year-round opacity, or a combination. If used, fences shall comply with RDC 18.230.100.

3. Mechanical units, utility equipment, elevator equipment, and telecommunication equipment located on the roof shall be grouped together and incorporated into the

roof design. Such equipment located on the ground shall be screened from adjacent pedestrian connections or sidewalks by a fence or landscaping to a value of eighty percent year-round opacity. If used, fences shall comply with RDC 18.230.100.

H. Drive-through lanes shall be sited to minimize adverse effects of vehicular traffic on the adjacent neighborhood and businesses, to minimize conflicts with pedestrian traffic, and to minimize visual impacts.

1. The requirements of this subsection shall apply to all drive-through restaurants, banks and credit unions, pharmacies, dry cleaners, and other similar uses. Espresso stands that are less than five hundred square feet in floor area and do not have an indoor customer area, or gas stations, car washes, oil and lube facilities, and freestanding drop boxes for, including, but not limited to, voter ballots, library books, and mail (both private and public carriers), and other similar uses, shall be exempt from the requirements of this subsection.

2. Drive-through queuing (stacking) lanes shall have a capacity of six spaces as measured from the pickup window. This amount may be adjusted, higher or lower, if peak average monthly volume for the business (or similar businesses) shows a need for a different amount of queuing spaces, as documented by the applicant.

3. Drive-through lanes shall not be located between the building and the street unless the Planning Director determines such location is not feasible because of lot geometry or access. In situations where drive-through lanes must be located between the building and the street, then additional screening and landscaping shall be required, consisting of a ten-foot wide L4 landscaping buffer incorporating shrubs with a mature height of at least six feet or equivalent treatment.

4. Pedestrian crossings of drive-through lanes shall be minimized and where necessary, shall be clearly marked and shall meet requirements for pedestrian connections in RDC 18.230.050.D. Likewise, signs and other visual cues shall be provided to alert drive-through users of the pedestrian crossing.

5. Drive-through lanes shall be screened to obscure the vehicles and to keep the drive-through vehicle headlights from shining onto public rights-of-way and adjacent properties. A ten-foot wide L4 landscaping buffer incorporating shrubs with a mature height of at least six feet or equivalent treatment incorporating landscaping, decorative walls, berms, and/or fencing shall be required between any drive-through lanes and adjacent properties or public rights-of-way.

6. Outdoor seating areas shall not be adjacent to drive-through lanes unless shielded by a ten-foot wide L4 landscaping buffer incorporating shrubs with a mature height of at least six feet or equivalent treatment incorporating landscaping, decorative walls, berms, and/or fencing. Buffers, fences and walls must be designed so they do not result in poor visibility for, and of, pedestrians crossing the drive-through lane or vehicles exiting the drive-through lane.

18.230.055 Building design and features

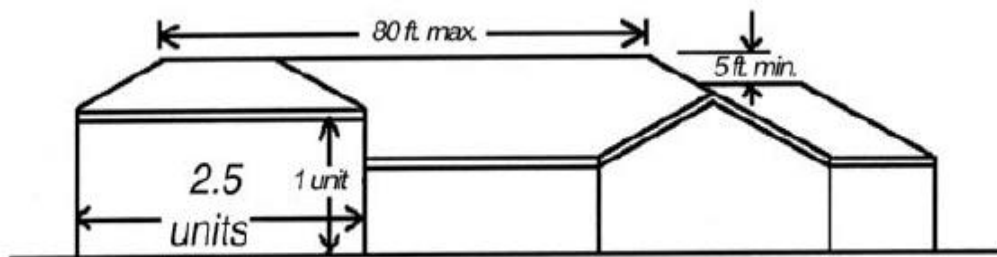
A. Applicability. The requirements of section 18.230.055 apply to buildings within the CCB and CRB zoning districts. The requirements of this chapter apply to:

1. New building of any size, and
2. The addition to or remodel of an existing building that increases the gross floor area of the building by 5,000 square feet or more.

B. Context-sensitive building design. Development shall consider the cohesive integration of one property along with all adjacent properties in a district so that the “whole is greater than the sum of the parts.” Elements of context-sensitive design include:

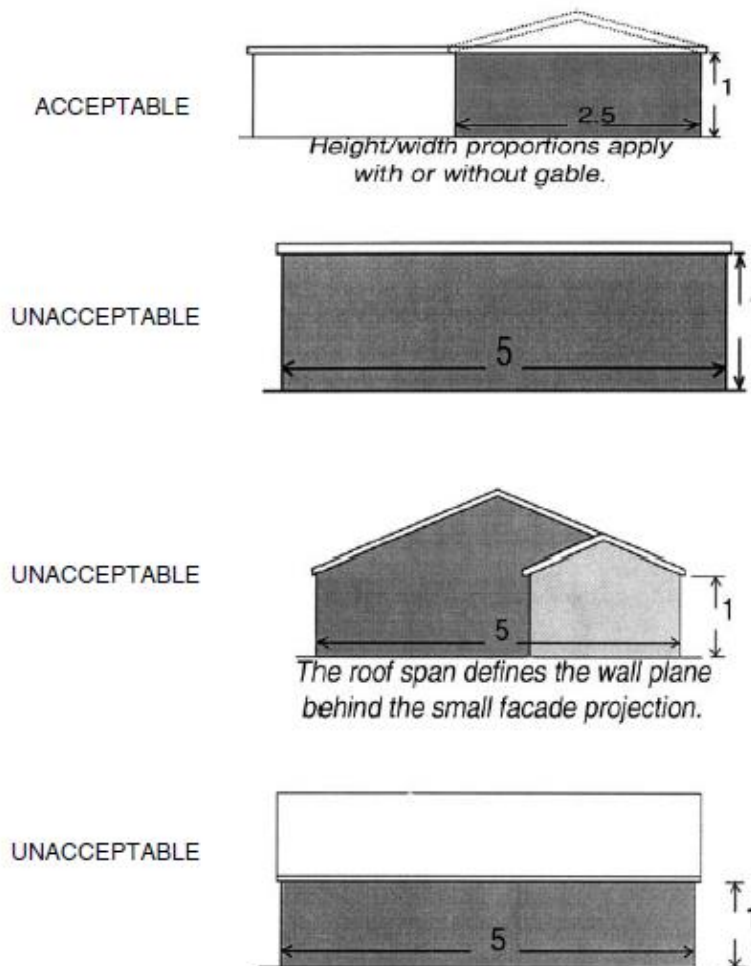
1. Orienting primary building facades towards the street with the highest street classification,
2. Ordering building height and scale between adjacent buildings so that a building is no more than 50% taller or larger than an adjacent building,
3. Extending horizontal planes between adjacent buildings, such as roof lines, cornices, rows of windows, belt courses, stories, and storefronts,
4. Ordering window size or patterns similarly to adjacent buildings;
5. Use of similar materials in adjacent buildings, for example, if the front façade surface area of building A is primarily faced with brick, adjacent buildings must incorporate similar materials in at least 25% of the primary façade, and
6. Use of similar plant materials, landscape fixtures and street furniture between adjacent buildings.

C. Mass and scale. Mass is the physical bulk or volume of a building. In architectural terms, a single-mass building is a single geometric form such as a rectangle or square, and may include a simple roof form with no variation in the roof line. “Massing” refers to variation in the mass and may involve multiple masses joined together. The purpose of the mass standards is to break large structures down into smaller building modules.



1. Where the lot has frontage on a pedestrian street, the facades of all new buildings longer than fifty feet (measured horizontally along the facade) shall incorporate relief to the perceived building mass through such features as wall projections or recesses, projecting windows, entrances, or other visual relief. Where the lot has frontage on a major corridor, the facades of all new buildings longer than one hundred feet (measured horizontally along the facade) shall incorporate relief to the perceived building mass through such features as wall projections or recesses, projecting windows, entrances, or other visual relief.

- a. No single wall plane shall be wider than two and one-half times the height of the wall plane. Unenclosed projections do not affect the height/width ratio of the wall plane from which the unenclosed structure projects.

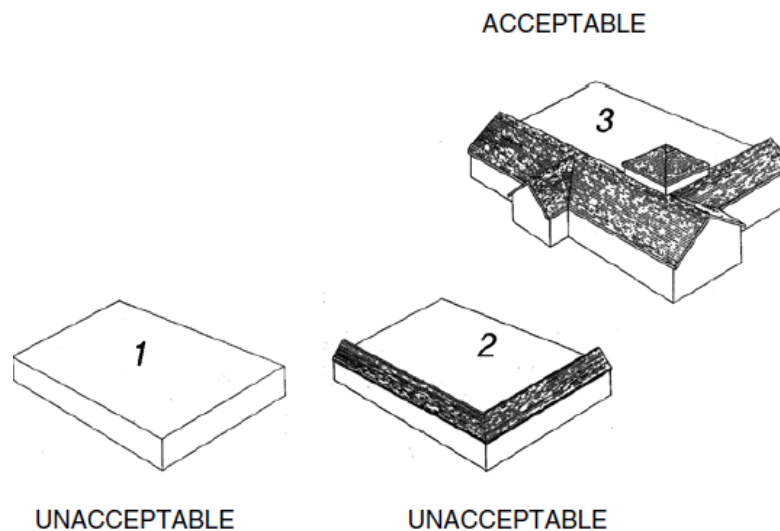


**Note: Porches, porticos and similar unenclosed projections do not affect the height/width ratio of the wall plane from which the unenclosed structure projects.*

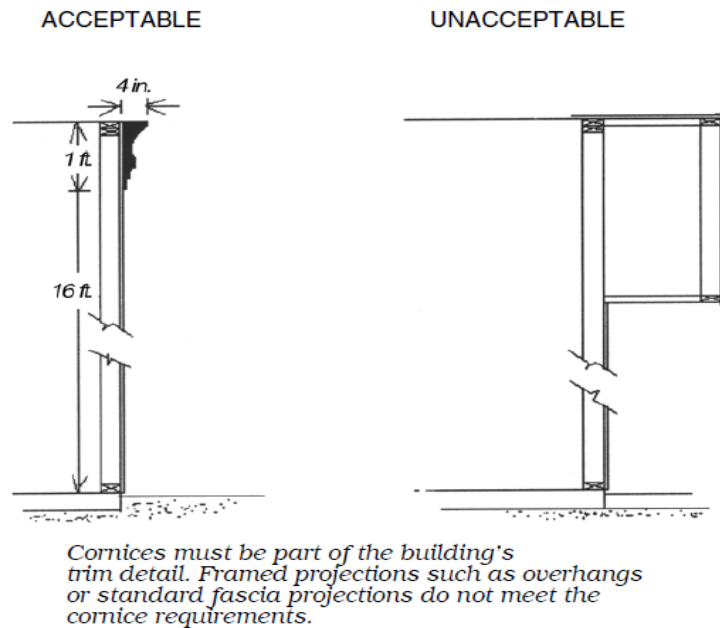
- b. Exterior walls and roof forms shall be a true reflection of interior space. False projections of wall or roof forms are not allowed, except that parapets and gables may rise above the true roof line if they include side returns or roof planes that (a) extend back at least one and one-half times the width of the parapet or gable, or (b) extend back to a point that is not visible from any public vantage point.
- c. Building walls visible from a public right-of-way shall employ at least three of the following articulation methods at intervals no greater than sixty feet:
 - i. Window patterns and/or entries that reinforce the pattern of storefront spaces; e.g., groups of windows that repeat no more than every 60 feet as opposed to a uniform row, or "ribbon," of windows.
 - ii. Weather protection features that reinforce storefronts. For example, for a building façade that is one hundred eighty feet wide, use three separate awnings to articulate the façade.
 - iii. Providing vertical building modulation of at least two feet in depth and four feet in width if tied with a change in roofline or change in building materials or siding style. Otherwise, the minimum depth and width of the modulation shall be ten and twenty feet, respectively.
 - iv. Placement of building columns or vertical piers or vertical elements such as planters, trellises, art pieces, or other features that repeat at intervals of sixty feet or less that reinforce a storefront pattern.
- d. The doorways on buildings abutting or within three feet of the sidewalk shall be recessed in order to avoid conflicts with pedestrians.
- e. Additional standards for large format uses in any zone. Individual retail uses with at least fifty thousand square feet of gross floor area or a façade greater than one hundred fifty feet in width shall provide:
 - i. Prominent entry. The building front shall integrate a prominent entry feature combining substantial roofline modulation with vertical building modulation and a distinctive change in materials and/or colors.
 - ii. Roofline modulation. The minimum vertical dimension of roofline modulation is the greater of six feet or 0.3 multiplied by the wall height (finish grade to top of the wall).
 - iii. Façades wider than three hundred feet shall incorporate at least two entry/articulation features (if there is only one entry, the second feature may be less prominent).
- 2. Roofs. All structures shall have a visual cap. This may be achieved with either a pitched or flat roof if designed according to one of the following options:
 - a. Lower pitched roof with extended eaves. A lower pitched roof with a minimum 4/12 pitch is allowed provided eaves extend at least two feet beyond exterior building walls.

b. Steep pitch hip, gable or saltbox roof form. Conform to the following roof pitch requirements: Minimum pitch: 6/12 in all areas. Maximum pitch: 12/12 in all areas. Exceptions: Steeples, bell towers and other ancillary structures.

c. False pitch roof with appearance of true hip gable or saltbox. Single story and multiple story buildings may have a flat roof with a false pitch if (a) the roof appears to be true hip or gable from all public vantage points, and (b) there are extending wings on each corner of the building which allow for a true hip or gable to extend out from the false hip or gable. Roofs shall conform to the minimum roof pitch standards specified in subsection (D)(1) of this section.



d. Flat roof with projecting cornice on multistory structures only. Cornice dimensions must be one foot high for every 16 feet of building height and must protrude forward at least one-third the cornice height dimension. The protrusion may include the entire cornice or the cornice may be a graduated protrusion with full protrusion at the top. Cornices must be at or near the top of the wall or parapet. Pediments may extend above the cornice.



D. Hierarchy in building design. The following standards apply to all commercial sites with more than one building or with one or more multitenant buildings.

1. Design primary structures as a focal point. Primary structures shall be designed to serve as a visual draw to a site. Primary structures shall be designed as follows:

- a. Must be prominently visible to the public. Primary structures shall be the focal point of development and must be prominently visible to the public right-of-way giving access to the project, unless significant vegetation warrants a less visible structure.
- b. Must have the appearance of at least two levels.
 - i. Primary structures shall have at least two floors (minimum eight feet apart). The second floor level shall be at least one-third the area of the lower floor area.
 - ii. Alternatively, primary structures may be single-floor buildings with roofs having a minimum pitch of 8/12, and which contain dormer windows on every roof plane having a ridge length of 40 feet or more. One dormer window with a glazing area of at least 15 square feet shall be required for every 40 feet of ridge length (or portion thereof). Dormer windows shall be functional, providing natural light into the finished and heated area of the building.
- c. Must provide a prominent entrance. Primary structures shall include a prominent entrance which faces the street providing primary access to the site. The entrance shall be defined by a projecting or recessed portico or a clearly defined doorway designed as a focal point in the facade design.

2. Integrate common outdoor areas per RDC 18.230.050.F into primary structure design.

- a. Porticos, courtyards, or similar structures shall be visible to the public and usable to customers or clients.
- b. The outdoor common areas shall be integrated into the building design by means of either a roof-like structure (e.g., sheathed roof or open pergola style) or perimeter wall extending from the building.

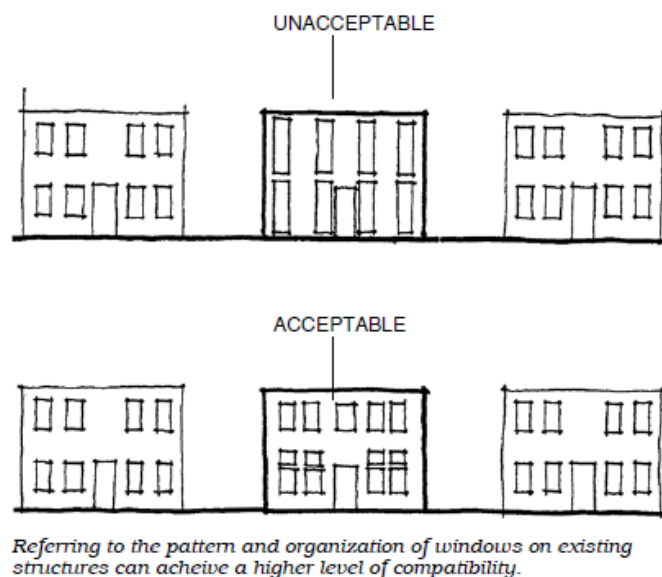
3. Integrate primary structure design elements into secondary structures.

Secondary structures (all structures other than primary structures) must include design elements that visually link them to the primary structure site.

- a. Secondary structures must include siding, trim, roofing materials and colors common to the primary structure of a site.
- b. Specific combinations of materials and colors may be varied from building to building; provided, that any material or color used on secondary structures has, in some application, been used on the primary structure. (For example, if the primary structure is a red brick building with gray clapboard in the gables, then the secondary structure may be a gray clapboard building with red brick accents.)

E. Windows and doors.

- 1. Mirrored glass is prohibited.
- 2. Multiple windows on a single wall plane shall be spaced and aligned with other windows and doors on the same wall plane. Single grouped windows on a wall plane shall relate to other architectural features such as roof forms, doors, or facade projections.



3. Windows and doors shall constitute at least 25 percent (25%) of the total wall area of prominent facade wall planes.

4. Transparency Zone. The transparency zone regulations apply to building facades which front pedestrian streets. The purpose of transparency requirements is to maintain "eyes on the street" for safety of pedestrians and to create a more welcoming and interesting streetscape and give an indication of the types of uses and activities occurring in buildings. Transparent windows and doors may be used to meet transparency requirements. Glazed windows, where visibility is obscured, shall not be used to meet transparency requirements.

a. The transparency zone refers to the ground floor between thirty vertical inches and eight (8) vertical feet above grade, or where the ground, terrace, or stoop meets the façade. The transparency zone extends along the primary street-facing façade of the building and may include additional façades such as those that face primary internal circulation routes within a development, minor arterials, arterials, or collector streets, or other highly visible façades.

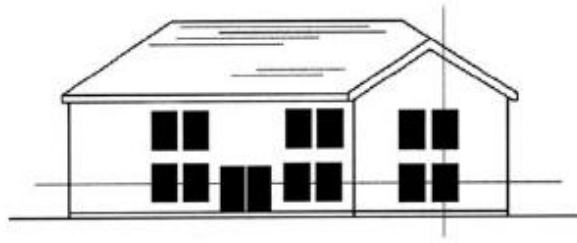
b. A minimum of sixty percent (60%) window and door transparency is required within the transparency zone.

c. For sloping frontages, the city may grant flexibility to the transparency zone dimensions provided the design of the façade adds visual interest to pedestrians and that untreated blank wall areas are avoided.

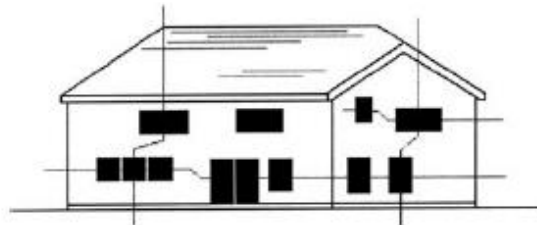
d. Where structured parking facilities occupy a portion of the ground floor frontage, the vehicular entrance is exempt from the transparency requirement.

e. Display windows may be used to meet up to fifty percent (50%) of the transparency requirements provided they are at least eighteen inches deep and integrated into the architecture of the building. Tack-on display cases do not qualify as transparent areas.

ACCEPTABLE



The careful alignment of windows provides visual balance to this facade. Notice that it is not always necessary to center windows on a wall plane. Usually, however, noncentered windows look better below a hip than below a gable.



UNACCEPTABLE

The scattered and haphazard arrangement of windows on this facade result in poor balance in the overall building design.



UNACCEPTABLE

F. Siding and trim.

1. Building siding materials shall be wood, brick, stone, stucco, or terra cotta.
2. Metal siding materials shall not exceed 10% of the total wall area of any wall.
3. Stacked and scored concrete blocks may be used if installed so as to provide added relief, shadow lines, and dimensional interest to a façade, provided:
 - a. All prominent facades shall be fifty percent (50%) sided with the materials allowed in subsection F.1;

- b. Masonry pilasters are regularly spaced every 15 to 25 feet on center (depending on the scale of the building); and
- c. Recessed panels, a minimum of four inches deep, shall provide frame and panel relief between all pilasters and which shall comprise approximately seventy percent (70%) of the width and height of the space between pilasters.

G. Roofing materials.

- 1. Use roofing materials which provide texture and shadow lines. Cedar shingles, architectural grade asphalt shingles, tile, slate, and standing-seam metal roofs are allowed. Other roofing materials are prohibited except on roofs having slopes less than 1/12.
- 2. Limit roofing colors to darker earth tone and forest colors. Only forest greens, charcoal or medium grays and dark clay colors are allowed.

H. Design details.

- 1. The following building treatments or additions are prohibited:
 - a. Tenant specific motifs – Fanciful or unusual detailing, excluding signs, used to promote a particular theme or to identify a specific.
 - b. Outlining – Architectural features shall not be outlined in neon, LED, tube-type, or other lights, either exposed or concealed lights.
 - c. Back-lit Awnings – Awnings may not be back-lit or otherwise illuminated from behind unless the awning fabric is completely opaque.
 - d. Nonfunctioning Awnings – Awnings shall be limited to traditional locations over windows, walkways, and entrances or over other architectural features where weather protection is needed. Awnings must be applied to walls or posts and may not be applied to existing projections over walkways or windows.
 - e. Faux Windows – All windows must be true windows that let in light to occupied space or to large attic areas that provide at least limited standing room.
 - f. False Fronts – Building facades must be designed to reflect the mass and bulk of the structure behind the facade. Design details that create a false appearance of building mass, or that otherwise make a building appear to be something that it is not, are prohibited.
 - g. Architectural Anomalies – Application of materials or details that are not integrated into the overall building design, or that do not reflect the materials or details characteristic of the overall building design, are prohibited.
- 2. Awnings, canopies and marquees may not obscure architectural details of the facade and may not be the prominent design element of the building. They must appear as a secondary and complimentary element of the building design. Awnings may not extend more than 12 inches beyond the outer edges of windows or groups of windows, and they may not come any closer than 12 inches to building corners or 36 inches to eaves or cornices.

3. Warehouse and mini-storage doors may not directly and visibly face pedestrian streets.

I. Color. The following standards apply to commercial development in the CRB and CCB zoning districts:

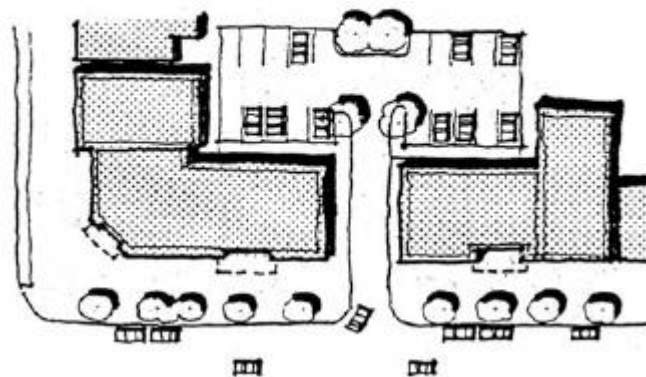
1. Field or base colors (the main color of exterior walls) shall be earth tone colors, such as: sands, grays, sage greens, pale yellows, deep, rich clay colors, and similar.
2. Trim colors (fascia, cornice, window and door trim, kick panels, etc.) may contrast to complement the field color and shall not be neon, bright or primary colors.
3. Accent colors may be brighter than field or trim colors. Appropriate areas for accent colors are those details such as moldings or molding indentations, medallions, and shadow lines of windows and doors and door frames.
4. Painting or staining of stone and brick is prohibited.

18.230.080 Off-street parking and loading

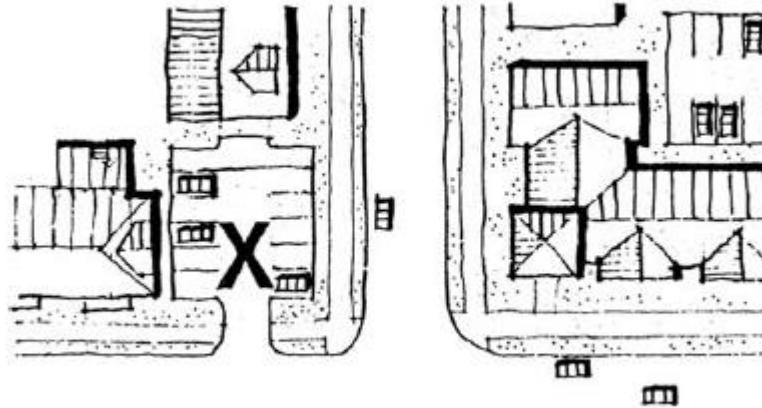
- A. Off-street parking and loading shall be provided as required in Chapter 18.720.
- B. Parking areas shall be located to minimize their visual and functional impact, generally by locating parking areas along the rear and sides of the buildings, and shall comply with the following standards in lieu of compliance with RDC 18.720.040.C.1.

ACCEPTABLE

Parking behind shops



UNACCEPTABLE



Street corners are not appropriate locations for parking lots.

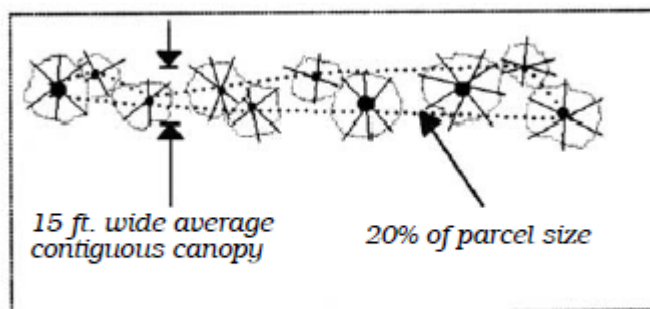
1. For sites along pedestrian streets, parking areas shall not be placed forward of the maximum setback or the front building façade, whichever is closer to the property line, for more than 20 percent of the site's street frontage not encumbered by critical areas or significant vegetation, with the exception of driveways and drive aisles perpendicular to the street frontage.
 2. For sites along major corridors, parking areas shall not be placed forward of the maximum setback or the front building façade, whichever is closer to the property line, for more than 50 percent of the site's street frontage not encumbered by critical areas or significant vegetation, with the exception of driveways and drive aisles perpendicular to the street frontage. Slip lane parking lots per RDC 18.230.080.xx are also exempt from this standard.
 3. For sites located on a corner lot or other lot with multiple frontages, both frontages must meet the applicable limitations for parking area locations. No parking area shall be closer than 100 feet to any corner formed by two public streets, unless the length of the frontage along both streets is less than 100 feet in which case the parking area shall be located as far as practicable from the corner.
 4. The area between the property line and the parking area, with the exception of driveways and drive aisles providing access to the parking area, shall be fully landscaped to an L2 standard.
- C. Slip lane parking lots are permitted along the street frontage of major corridors, and are exempt from the 50 percent street frontage limitation for parking lots in RDC 18.720.040.C.1.
1. Slip lane parking lots may consist of one, one-way drive aisle and one row of parking stalls arranged parallel or angled, meeting the dimensional standards of RDC Table 18.720.040-1. The combined width of the drive aisle and parking stalls shall not exceed 44 feet.

2. Slip lane parking lots shall include a sidewalk with a minimum width of 5 feet between the parking lot and the interior of the site, running the full length of the slip lane parking lot.
3. Along a minimum of 75% of the length of the slip lane parking lot, buildings shall be set back no more than 5 feet from the back edge of the required sidewalk.
4. Buildings fronting the slip lane parking lot shall provide a primary pedestrian entrance directly facing the parking lot.
5. Where practicable, slip lane parking lots shall extend to the edge of the property line to allow seamless continuation along the adjoining properties.
6. Slip lane parking lots shall only be allowed if the Public Works Director approves access onto the arterial, which may include limitations on driveway spacing and restricted turn movements.

D. Driveways shall comply with all City Engineering Standards. Further, driveways shall be restricted to no more than one entrance and exit lane per 250 linear feet of street frontage, measured separately for each frontage in the case of lots with multiple frontages, except that each property shall be guaranteed a minimum of one entrance and exit lane.

RDC 18.230.090 Landscaping

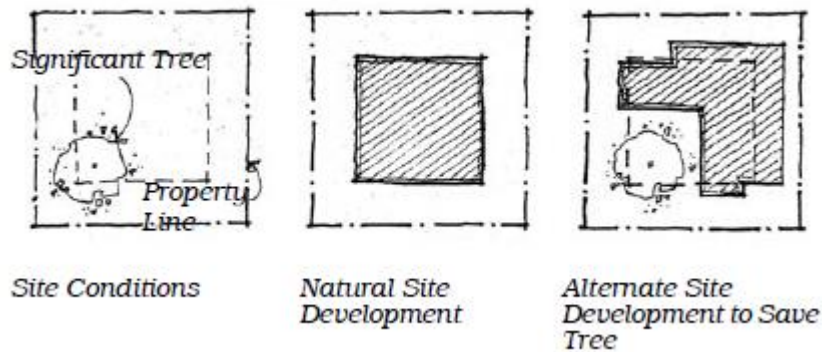
A Purpose. Landscaping shall be integrated into the site in the form of landscaping in off-street parking areas, as buffers between uses, within street planter strips, and to soften the appearance of large building elevations, and shall comply with the requirements of this chapter and RDC 18.725. Landscaping shall include a combination of existing vegetation and new plant materials.



Natural vegetation may meet on-site tree requirements.

B. Existing Vegetation. While it is inevitable that some existing trees will be removed with new development, existing vegetation should be preserved where practicable or otherwise replanted in required landscape areas. All new developments and

redevelopment projects should be designed to preserve existing, mature vegetation as part of the site and shall protect all existing vegetation that is outside of planned building and parking areas.



1. All healthy, existing trees having a diameter at breast height (dbh) of six inches or greater shall be identified and marked on the existing conditions site plan.
2. A minimum of 20 percent of existing vegetation shall be incorporated into the required landscaping areas and preserved. The applicant may reduce required building setbacks by up to 20 percent, exempt from the requirements for an administrative adjustment in RDC 18.350, if such a reduction can be shown to allow greater retention of existing vegetation.
3. Existing vegetation that is not within building envelopes and not within areas that are required to be graded or excavated (e.g., for public improvement requirements, utilities, foundations, and parking areas) shall be integrated into the project's landscape design to the greatest extent practicable, and may exceed the minimum 20 percent retention required.
4. If the applicant proposes an adjustment or variance consistent with RDC 18.350 to reduce the existing vegetation retention requirements of this section, the applicant must provide mitigation planting of equivalent inches of tree diameter. For example, if the applicant proposes to remove an existing 12-inch dbh tree, it must be replaced with tree(s) totaling 12 inches diameter. The minimum size for replacement trees is three inches dbh.

18.230.100 Fences and walls.

- A. Fences shall meet the requirements of Chapter 18.740.
- B. Fence and wall materials.
 1. Fences shall be consistent with the overall building design and constructed of wood, wrought iron, brick, stone or concrete block (CMU). Smooth-faced concrete

block must have a veneer finish on the side(s) visible to public view. Other materials which have the general appearance and visual quality of approved fence materials may be approved by the Planning Director. However, the use of plywood or composite sheeting as a fence material is not permitted.

2. Chain link fences are discouraged and may only be used in areas not visible from any public right-of-way, adjacent property, or onsite common open area. If used, black, dark brown or dark-toned coated chain link fencing with matching posts and rails shall be required.

3. Barbwire and razor wire fences shall not be used except for specific condition where the applicant demonstrates they are required for security reasons and that they will not be visible from adjacent rights-of-way.

C. Fences and walls facing pedestrian streets shall not be allowed and fences and walls facing major corridors shall be discouraged unless the applicant demonstrates the fences or walls are necessary for business safety, screening the development from adjacent residential uses, or screening the parking area, service areas, or drive-through lanes. If fences or walls facing public streets are used, they shall be set back 10 feet from sidewalk or right-of-way and shall provide landscaping within the setback area at an L2 standard.

18.230.110 - Outdoor storage, seating and events.

A. Outdoor storage or display areas, excluding outdoor seating or event areas, shall occupy an area no larger than ten percent of gross floor area except for plant sales that shall occupy no more than seventy-five percent of gross floor area.

B. Permanent outdoor seating and event areas, cumulatively, are limited to twenty percent of the gross site area, excluding uses in the public right-of-way. The planning director may issue a temporary use permit for the use of up to thirty percent of the gross site area for temporary outdoor seating and event space consistent with Section 18.205.015(F).

C. Outdoor uses such as outdoor seating, sidewalk sales, or special events in the public right-of-way must be approved through either site plan review for permanent uses per RDC 18.500 or temporary use review consistent with RDC 18.205.015(F). A minimum 6-foot-wide pedestrian zone must be maintained within the right-of-way. Outdoor seating within the right-of-way must be separated from the pedestrian zone by means of movable separation 36 to 48 inches tall such as planters, bollards, fence, or similar. Use of the public right-of-way is discretionary and must be approved by the Public Works Director.

RDC 18.725 – LANDSCAPING**18.725.050 Screening and buffering.****Table 18.725.050-1**

LANDSCAPING, SCREENING AND BUFFERING MATRIX

Zone or Use	Setback by Type of Adjacent Use					
	Street	Commercial	IND or OFF	PF or POS	Residential	CMU or WMU or WLS
CRB Site	10'/L2 (2)	5' L2	5' L2	20'/L2	20'/L4	20'/L3
Parking Area	10'/L2	10'/L2	10'/L2	10'/L3	20'/L4	20'/L3
CCB Site	10'/L2 (2)	5' L2	5' L2	10'/L3	20'/L4	10'/L2
Parking Area	10'/L2	10'/L2	10'/L2	10'/L3	20'/L4	10'/L3
CNB Site	5'/L2 (2)	0'	0'	10'/L3	10'/L4	10'/L2
Parking Area	10'/L2	10'/L2	10'/L2	10'/L3	10'/L4	10'/L3

Table Notes:

(2) Along a pedestrian street, the landscaping buffer for front and street side yards may be reduced to 0 feet if the building is located within 10 feet of the property line.

CITY OF RIDGEFIELD PLANNING COMMISSION

MEETING DATE: September 07, 2016

ITEM: BUSINESS

AGENDA ITEM TITLE: Parks and Trails Design Standards & Development Process
(Discussion)

SUMMARY/BACKGROUND:

In the coming 20 years, the City of Ridgefield is forecast to grow by over 19,000 people. Growth will spur development across the city, converting vacant or low-density property into neighborhoods and businesses. It is imperative that the City acquires parkland across the city during this period of physical and population growth, both to secure land rather than see it developed, and to provide parks for the growing population.

Neighborhood parks are the primary building block of the City's planned park system, providing the most convenient access to parks for families with opportunities to play and gather. Development of these parks, whether by developers or the City, should be planned to meet a broad range of community needs. The guiding principles for park design are to provide a variety of features and experiences accessible to all, promote creativity within a safe space for play and relaxation, and reduce long-term maintenance costs and vandalism.

The trail standards are intended to provide greater detail and specificity to guide development of the trail network mapped in this plan and the general principles for recreational trails. The standards in this section are intended to help guide trail development through the land use development process governed by the Ridgefield Development Code (RDC) and trail development initiated by the City.

STAFF CONTACT: Julie Basarab, City Clerk

ATTACHMENTS: AcquisitionStandards (PDF)
TrailStandards (PDF)
DesignStandards (PDF)

Parks Plan Appendix A1: Selection Criteria for Neighborhood Park Acquisition

In the coming 20 years, the City of Ridgefield is forecast to grow by over 19,000 people. Growth will spur development across the city, converting vacant or low-density property into neighborhoods and businesses. It is imperative that the City acquires parkland across the city during this period of physical and population growth, both to secure land rather than see it developed, and to provide parks for the growing population.

Decisions about where, what, and how much land to acquire for parks impact how effective a city's investment in parks can be in fulfilling the promise of park benefits. The opportunity to acquire parkland is a one-time opportunity: once land is developed as homes or businesses, it is very unlikely that it will be converted to park use. However, the city must use its limited funds wisely to acquire key properties.

Neighborhood parks are the primary building block of the City's planned park system, providing the most convenient access to parks for families with opportunities to play and gather. Acquisition of parkland for neighborhood parks must be targeted within developing neighborhoods, to ensure parks are a central, unifying neighborhood feature rather than an afterthought.

The following criteria are intended as a tool to assess the long-term potential for a specific parcel to be developed as a neighborhood park and to help City staff and elected officials make the best possible decisions when selecting future neighborhood park locations and investing limited funds. The tool can be used to analyze the merits of a single parcel, or to compare several parcels in order to identify the preferred option. This is also intended as a tool for developers to use for siting parks and recreation features in new developments. While no one parcel will likely meet all of the criteria, preferred parcels should meet many of the criteria and should offer ample and unique opportunities for development as a neighborhood park.

Criteria	Considerations
Size	2-4 acres total size. May be acquired in several pieces and assembled. For smaller parcels, consider ability to acquire adjacent property. Avoid creating undersized "orphan" parcels that cannot be expanded.
Development Potential	At least one acre developable for active recreation. Include at least 10,000 SF of roughly rectangular area with slopes less than 5% for development as play space, sports fields and/or playgrounds. Minimize slopes greater than 3:1 to improve access and ease of maintenance. Consider desired park amenities, and minimum size and configuration needed to accommodate. Critical areas and buffers may be included within the park boundaries, but should not make up more than half of the park area.

Criteria	Considerations
Configuration	Parcels should be roughly rectangular, unless a particular concept lends itself to an irregular shape such as a linear park. Dimensions should allow for development of desired park amenities. Parcel should be contiguous, without narrow bottlenecks or convoluted boundaries that isolate park users or create hidden, dead space. Ample buffer space around critical areas should be provided so that critical areas do not cut across the park.
Location	Located to serve a park service area of 1,000 to 2,000 people within ½-mile radius. Located within a gap area identified in the Parks & Recreation Comprehensive Plan. Centrally located within park service area. May be located to serve one large subdivision or several smaller subdivisions, to help integrate subdivisions into a neighborhood. No natural or manmade barriers to entry should limit access from a portion of the service area, such as a ravine or freeway.
Vehicle Connection	Provide minimum roadway frontage of 100 feet. Preference for frontage along residential streets, rather than arterials or collectors with high traffic volumes unless safety provisions are incorporated. Preference for on-street parking opportunities along the park frontage and opposite side of the street.
Pedestrian Connection	Locate so that multiple pedestrian entry points can be provided, to reduce travel distance to the park for users. Provide sidewalks in the vicinity of the park and along primary access routes to the park. If park service area extends across arterials or collectors, provide crosswalks. Connect park to existing and planned trail networks, both city system trails and local trails within subdivision. Design adjoining streets and pedestrian connections to minimize walking distance from homes or businesses to the park, ¼ mile preferred, ½ mile allowed.
Infrastructure	Develop transportation network to serve site at time of park development, including auto, bike and pedestrian networks.

Criteria	Considerations
	Develop water and sewer systems to serve site at the time of park development. Consider opportunities for innovative stormwater at the site.
Adjoining Land Uses	Preference for locations near residential uses. Preference for locations that can be separated from immediate residential uses by rights-of-way, landscaping, setbacks, fencing, natural areas, or other types of buffering so that homes do not back up directly on to parks. Locations near low-scale commercial or institutional uses such as schools or churches may be appropriate as well, depending on the intended users of the park.
Environmental	Site can be developed with minimal impact to critical areas and buffers. Consider incorporating distinctive natural amenities such as a pond, tree grove, or stream into the park design, provided they do not unduly limit the development potential for the park.

Parks Plan Appendix A3: Trail System Acquisition & Design Standards

Purpose: The *Parks & Recreation Comprehensive Plan* prioritizes creation of a recreational trail system as part of the City's network of park and recreation opportunities, and these standards provide additional guidance to ensure development of a quality trail system. Securing trail corridors through neighborhoods as they develop will be particularly important in the upcoming decades of growth forecast for the city. The trail network will also provide additional transportation options to supplement the traditional transportation system detailed in the City's *Transportation Capital Facilities Plan*. The trail network is intended to accommodate a range of trail users, though specific trails within the network will be better suited to some user groups than others. Anticipated trail user groups include:

- Pedestrians, including walkers, runners and those with dogs or strollers
- Cyclists, including road biking and mountain biking
- Equestrians
- People with disabilities

Applicability: These standards are intended to provide greater detail and specificity to guide development of the trail network mapped in this plan (see page 91) and the general principles for recreational trails (see pages 22-23). The standards in this section are intended to help guide trail development through the land use development process governed by the Ridgefield Development Code (RDC) and trail development initiated by the City. This appendix describes the general principles for trail corridor alignment and design, with specific design and construction standards for trails further detailed in the *Ridgefield Engineering Standards for Public Works Construction* (Engineering Standards).

Trail Corridor Acquisition Criteria: These criteria set minimum standards for acquisition of land or easements for trail construction through either purchase or dedication.

Criteria	Considerations
Minimum Widths	Optimum corridor width is 44 to 50 feet to provide ample screening of the trail to enhance the user experience and minimize impacts on neighboring properties. Corridor should provide minimum width of 20 to 30 feet depending on trail type, consistent with the Engineering Standards. Easement width should be sufficient to ensure access and to provide for trail turning radii. Wider easements should be considered as needed for: steeply sloped areas, stormwater facilities associated with the trail, guardrails, benches and other trailside amenities.
Access Points	Locate trail corridors and connecting trails to provide public access to trails at regular intervals of one to two miles. Public access may be provided at locations where the trail corridor

Criteria	Considerations
Public Access	crosses a public road, via a short spur perpendicular to the main easement, or a developed trailhead. Trail rights-of-way should ensure and prioritize public access. Preferred option is City ownership of the trail corridor through land dedication or purchase. As an alternative, rights-of-way should be established through easements exclusively for public access as the primary use. Exceptions may be made for rights-of-way with overlapping easements, such as utility corridor or access easements, if utility or other uses will not unduly interfere with trail use or if no other practicable alternative exists.
Critical Areas	Right-of-way for trail development should not be located within wetlands, streams, steep slopes or other critical areas, or their associated buffers, as defined in RDC 18.280. Exceptions may include right-of-way for trails that are mitigated, permitted and approved by City, State and Federal regulatory agencies. Exceptions may also include right-of-way for which additional suitable property is dedicated to the City for mitigation required by RDC 18.280.
Topography	Trail rights-of-way should be sited to avoid extreme grades, in order to facilitate trail construction that conforms to the maximum grades specified in the Engineering Standards. This may require deviation from a straight-line, shortest path alignment to better contour along a steep slope, or provision of a wider easement to allow for switchbacks or other trail construction techniques to minimize trail grade.
Adjacent Uses	Locate corridors through parks and open spaces as a first priority. If corridors are located adjacent to residential uses, evaluate residential lot size and easement width and buffering provided by fences and/or vegetation to provide adequate separation. Corridors located adjacent to commercial and industrial uses shall provide adequate easement width combined with fencing and/or vegetative buffers to minimize impacts on trail users.
Trail Setbacks from Property/Easement Lines	Trail corridors should be sited so that the trail surface itself can be located roughly in the middle of the easement or property, to provide setbacks on either side. The alignment should allow a 5-10-foot setback from the easement or property line to the edge of trail surfacing on both sides. A reduced setback on one side may be appropriate if the corridor is adjacent to open space or parkland, or in other cases where perpetual development restrictions prohibit development of

Criteria	Considerations
	adjacent land next to the trail right-of-way. Trail amenities such as benches or guardrails may be located within the setback.
Roadway Separation	Rights-of-way for trails should be located away from streets, except at trailheads and where the trail crosses the street. Trails generally should be separated from nearby streets by at least one developable lot, or open space corridor with a minimum 20-foot width that provides a similar level of buffering. If no practicable alternative exists to locate the trail away from a parallel street alignment, the right-of-way should be physically separated from motor vehicle traffic by a minimum 6-foot wide landscaping strip or a minimum 4-foot tall fence or similar barrier.

Trail Design Standards and Criteria: These criteria for the three trail types provide an overview of design considerations and are supplemented by the Engineering Standards.

Type	Description	Application Criteria
Type 1 Regional Trails	Multiuse trail intended for heavy use, primarily for pedestrians and cyclists with potential opportunities for equestrian use. Paved trail with a minimum 10-12-foot wide trail surface within a minimum 30-foot easement.	Appropriate for trails outside of critical areas, or where adequate mitigation and permitting can be accomplished. Appropriate for trails intended to form the backbone of the city trail network with connections to secondary trails within the city and to regional trails. Appropriate for trails intended to meet transportation objectives in addition to recreational needs.
Type 2 Connector Trails	Multiuse trail intended for moderate use, primarily for pedestrians with accommodations for cyclists. Potential opportunities for equestrian use if additional easement width is provided. Paved trail with a minimum 8-10-foot wide trail surface within a minimum 25-foot easement.	Appropriate for alignments within critical areas or buffers where a slightly narrower trail is more feasible to develop. Appropriate for trails that connect to Type 1 trails but do not connect onwards to regional trails. Not appropriate for trails intended to serve a transportation function.
Type 3 Local Trails	Trail intended for light to moderate use by pedestrians. Paved trail with a minimum 6-8-foot wide trail surface within a minimum 20-foot easement; exception for unpaved trails in natural settings where	Appropriate for trails within neighborhoods that serve a limited service area, and trails that connect from those areas to Type 1 and 2 trails. Appropriate for trails within critical areas or buffers with required permitting and

Type	Description	Application Criteria
	there is no feasible option for pavement.	mitigation. Appropriate for recreational use but not appropriate for trails intended to serve a transportation function.

Trail types for planned system trails are identified in Figure A3-1, Trail System Plan Map by Trail Type. Additional trails, particularly trails proposed within new development to connect to system trails, should be typed according to the application criteria above.

Special Design Considerations:

Accessibility for Persons with Disabilities: Design of the trail system must incorporate access for persons with disabilities, though not every trail will be appropriate for all persons with all disabilities. Accessibility along Type 1 and 2 trails should be prioritized, and system design should prioritize continuous lengths of accessible trail and avoid creating disconnected accessible trail segments interrupted by barriers. Trail amenities should support use by persons with disabilities, including ADA-compliant parking spaces at trailheads, restrooms, benches and other furnishings. Trail signage should incorporate detailed information about trail conditions to allow users with disabilities to make informed decisions about how to use the trails.

Critical Areas: In most cases, trail corridors should be sited outside of critical areas and buffers to avoid environmental impacts. However, there may be circumstances where critical areas and buffers cannot be avoided or a route through critical areas and buffers provides opportunities for interesting trail alignments along natural features such as creeks and canyons. Trails should be located in buffers rather than critical areas where feasible, and should only cross critical areas themselves when no practicable alternative exists.

Trail segments that are located in buffers and critical areas should be designed to minimize and mitigate all impacts, and to comply with city, state and federal permitting requirements. Trails should also be designed to accommodate the anticipated use level, which requires selecting low-impact trail construction techniques with high durability factor. Soft-surface trails such as bark chips are not acceptable because of the high annual maintenance costs. Trails shall be designed as boardwalks, bridges or other innovative techniques to provide a durable, low-maintenance, accessible trail surface that minimizes impacts to resources.

Reference *Wetland Trail Design and Construction*, (Forest Service Document #0123-2833-MTDC) for additional trail design techniques.

Equestrian Access: Portions of the trail system should be designed to accommodate and encourage equestrian use. Additional trail design considerations should include a maximum average grade of 10% and additional easement width to accommodate a 5-foot crushed gravel or similar surfaced shoulder for equestrian traffic. Type 1 and 2 trails will likely be most appropriate for equestrian trails. Along the trail, equestrian-specific amenities should include signage on yielding right-of-way to horses. Trailheads should include trailer parking spaces and hitching rails. Reference the *Equestrian Design Guidebook for Trails, Trailheads and Campgrounds* (Forest Service Document #0723-2816-MTDC) for additional design considerations.

Design Criteria for Trail Amenities: These criteria work in concert with the Engineering Standards to guide development of supporting trail features to enhance the user experience.

Criteria	Considerations
Trailheads	Primary trailheads should be located at major trail access points as designated on the trail system map, and may be collocated with parks. Trailhead amenities should include: parking, trailer parking at equestrian trailheads, restrooms, water fountains, signage and trail system maps, trash receptacles, dog waste stations, lighting, bike racks, and benches and/or picnic tables, as feasible or desirable for each specific trailhead. Secondary trailheads should be developed at other trail access points, including where the trail crosses a road. Secondary trailheads should include any of the above amenities deemed necessary, and should include signage and lighting at a minimum.
Roadway Crossings	Provide signage and lighting at locations where trail corridors cross any roadway and provide any additional trailhead amenities consistent with a secondary trailhead as appropriate for the site. Provide pedestrian crossings wherever trails cross an arterial or collector street. Use appropriate design tools for the traffic volume of the roads, whether a simple striped crosswalk or a pedestrian-activated signal.
Signage	Develop and install consistent signage at trailheads, trail junctions, and other trail access points.
Benches	Provide benches and landings at regular intervals along trails, approximately every mile to half-mile. Precise location and spacing should be determined based on opportunities for viewpoints, location of trailheads, and terrain. If benches are sited along a stretch of trail with a grade greater than 5%, the bench and landing area should be located on the uphill side of the trail. Benches and landings should be configured to provide adequate clear space adjacent to the bench to maneuver a wheelchair or other assistance devices. Landings should be surfaced with similar materials as the trail surface. Bench type shall be as specified in the Engineering Standards.
Trash Receptacles	Trash receptacles should be located at trailheads and other locations where they can be easily accessed for maintenance. Dog waste stations should be collocated with trash receptacles.

Criteria	Considerations
	Trash receptacle type shall be as specified in the Engineering Standards.
Bicycle Racks	Bicycle racks should be located at trailheads along trails expected to attract significant bicycle use. Bicycle racks should be located on a paved area with adequate maneuvering area to allow bike parking. Bicycle racks should be constructed of a secure material and bolted to the ground, and be located in a well-lit area. Bicycle rack type shall be as specified in the Engineering Standards. Staple-style racks are preferred and wave-style racks are prohibited.
Lighting	Pedestrian-scale lighting should be located at trailheads and road crossings, unless existing streetlights provide adequate illumination. Lighting should not be installed along the trail corridor to avoid light and glare impacts to adjacent property owners and to preserve the natural environment along the trail corridor, with the exception of lighting deemed desirable for security. Lighting poles and fixtures shall use LED technology and be as specified in the Engineering Standards.
Fencing	Use fencing to provide separation from adjacent uses where needed, such as to prevent trespassing on private property or access to sensitive areas such as stormwater facilities. Design fencing to minimize its visual prominence as well as to minimize maintenance needs and reduce vandalism potential. Materials such as black or green-vinyl coated chain link are preferred. Solid materials that create a canyon-like effect along the trail corridor should be avoided, such as wood slats, bricks or masonry, and features like barbed wire and razor wire should be avoided. Fence height should be as low as feasible to accomplish separation or screening objectives. Preferred height is four feet up to a maximum of six feet.

Parks Plan Appendix A2: Design Criteria for Neighborhood Park

Neighborhood parks are the primary building block of the City's planned park system, providing the most convenient access to parks for families with opportunities to play and gather. Development of these parks, whether by developers or the City, should be planned to meet a broad range of community needs. The guiding principles for park design are to provide a variety of features and experiences accessible to all, promote creativity within a safe space for play and relaxation, and reduce long-term maintenance costs and vandalism.

The following criteria are intended to shape neighborhood park development with a mixture of specific requirements and optional elements to provide flexibility. All parks should be designed with the overarching design criteria in mind, and must incorporate the minimum design features. Additional design features should be incorporated based on site-specific opportunities to create distinct parks that contribute to the broader City parks system.

General Design Criteria

Criteria	Considerations
Variety	Individual parks should provide a variety of experiences to satisfy users of all ages. Creative and unique park features are encouraged. Individual parks should be designed within the context of other park and recreation facilities city-wide to provide additional opportunities distinct from existing facilities, so that together the City park system provides a full range of recreation opportunities.
Context sensitive	Develop parks in relation to needs of users within ½ mile of the park, including anticipated demographics and housing unit types over the long term. Park design should incorporate features like substantial vegetation, waterways, and rolling topography. Develop parks to provide continuity between parks and natural amenities such as critical areas, open spaces, and stormwater facilities.
Accessibility	Design parks to comply with Final Guidelines for Outdoor Developed Areas, United States Access Board. Design individual features to meet Americans with Disability Act (ADA) requirements. Promote spirit of inclusivity for persons of all abilities.
Safety	Design parks to comply with Handbook for Public Playground Safety, Consumer Product Safety Commission. Play equipment and surfacing must meet ASTM and National Playground Safety Institute standards. Design parks to provide clear lines of sight and incorporate other Crime Prevention Through Environmental Design (CPTED) guidelines.
Maintenance needs	Select materials and features with low-maintenance needs, such as metal or recycled plastic in place of wood.

Criteria	Considerations
	Configure fields and placement of amenities to allow access by maintenance vehicles including mowers. Select and install standard furnishings models for items such as benches, trash receptacles and picnic tables to simplify long-term maintenance and repairs. Design features that are resistant to vandalism.

Minimum Design Features

Criteria	Description & Requirements
Frontage improvements	Develop park frontage along public streets with full frontage improvements, including sidewalk and on-street parking that meets requirements of City Engineering Standards.
Entrances & connections	Provide a main entrance to the park along the primary street frontage that includes an identifying sign, paved pathway connection to sidewalk, and curb ramp onto adjacent street for ADA and bicycle access. Provide secondary entrances along any secondary street frontages or a second entrance along the primary frontage if the frontage is greater than 300 feet long. Provide direct connections between trail segments and internal park pathways.
Signage	Provide entryway signage at each park entrance identifying the park and rules signage, including hours of operation, at high-traffic points and/or near amenities covered by the rules. All signage must comply with sign standards for parks. Only commercial signs complying with city park sponsorship policies are permitted in parks.
Internal pedestrian paths	Develop primary and secondary pathway systems through the park. The primary pathway system must: • Connect all entrances to the main park features, such as play areas and sports facilities. Depending on park configuration, a loop option is preferred. • Be paved and meet ADA standards for access, including maximum slopes and cross-slopes. • Be a minimum of 6 feet wide, 8 feet preferred. • Connect to any trail segments that access the park. The secondary pathway system must: • Provide alternative routes through the park to explore additional features. • Be constructed of alternative materials such as gravel to

Criteria	Description & Requirements
	provide a lower-impact, more natural feel. • Be a minimum of 4 feet wide.
Water fountains	Provide a minimum of one water fountain at a central location such as play areas or sport courts, and additional water fountains at locations with high pedestrian traffic such as trail connections, park entrances or sports fields. Select standard water fountain equipment and design water connection to meet City Engineering Standards.
Benches	Provide a minimum of two benches at areas of high demand such as along primary pathways or near play areas and sport courts. Additional benches may be required depending on demand. Locate at least one bench in a shaded area facing the play area to provide a convenient location for caregivers to observe the play area. At least one of the required benches must be ADA compliant. Select standard bench equipment and install consistent with City Engineering Standards. Any alternative bench models must provide similar functionality while providing distinct aesthetic or identity values, and be approved by the Public Works Director prior to installation.
Picnic tables	Provide a minimum of two picnic tables. Picnic tables should be sited within 100 feet of a trash receptacle. At least one of the required picnic tables must be ADA compliant, and be accessible via an ADA compliant route. Select standard picnic tables and install consistent with City Engineering Standards. Any alternative picnic table models must provide similar functionality while providing distinct aesthetic or identity values, and be approved by the Public Works Director prior to installation.
Bike racks	Provide bike racks with capacity for a minimum of four bikes. Locate bike racks at areas of high demand such as along primary pathways, trail intersections, or near play areas and sport courts. Additional bike racks may be required depending on demand. Select standard bike racks and install consistent with City Engineering Standards. Any alternative bike rack models must provide similar functionality while providing distinct aesthetic or identity values, and be approved by the Public Works Director prior to installation. Wave-style racks are prohibited.
Trash receptacles	Provide a minimum of one trash receptacle and dog waste disposal station at areas of high demand such as near picnic tables and benches or near play areas and sport courts. Select standard trash receptacles and install consistent with City

Criteria	Description & Requirements
	Engineering Standards. Any alternative trash receptacle models must provide similar functionality while providing distinct aesthetic or identity values, and be approved by the Public Works Director prior to installation.
Lighting	Provide lighting at main entrances, along primary pathways, and main features. Lighting must be designed at an appropriate scale for park users and to minimize impacts to neighboring properties. All lighting shall use LED technology or equivalent. Lighting shall be fully shielded, aimed downwards, and prevent light trespass, in full compliance with standards in RDC 18.715.
Play areas	Provide a minimum 4,000 SF play area. Play equipment shall meet ASTM and Consumer Product Safety Commission standards. Play equipment shall be composed of high-quality, durable materials designed to be vandal-resistant such as recycled plastics and powder-coated metals. Untreated metal and wood equipment are not permitted. Select equipment designed for toddlers through elementary school-aged children, and provide for a variety of opportunities to appeal to children of all ages, such as crawling, pulling/pushing, balancing, swinging, climbing, spinning, sliding, and imaginative play opportunities. When two or more play areas are provided on one site, provide distinct separation between preschool-age play areas (2-5 years) and school-age play areas (5-12 years) using pathways, seating areas or landscaped buffers. Post signage designating age levels and rules of use. Play areas shall be accessible via ADA-compliant routes and play equipment shall be ADA compliant. Play area shall be centrally located to ensure visibility and ease of access from other locations within the park. Provide for visibility of play area from primary street frontage. Locate play area a minimum of 50 feet in all directions from hazards such as streets, parking lots, bike paths, barbeques, and tripping hazards. If play areas are located closer than 50 feet from streets, enclose play area within 3 to 4-foot tall non-sight obscuring fence with gate.
Play area surfacing	Surfacing meets ASTM and National Playground Safety Institute Standards. Poured-in-place rubberized safety surfacing, loose rubber fill, interlocking rubber pavers or engineered wood fiber are preferred materials, and pea gravel and sand are not permitted. Enclose play areas with a minimum 4-foot-wide concrete sidewalk with sunken play area providing adequate depth for surfacing

Criteria	Description & Requirements
	materials. Surfacing shall be well drained with an adequate subgrade. Surfacing is ADA compliant.
Open turf area	Provide a minimum 10,000 SF open turf area for unstructured play in a rectangular configuration with no dimension less than 50 feet. Area must be level with maximum slope of 2%. Turf area must be planted with grass and irrigated.
Landscaping	Install at least two shade trees near the play area, selecting species from the City's approved tree list. Provide landscape buffer screening between park and any adjacent residential lots.

Additional Design Features

Criteria	Description & Requirements
Restroom	Restrooms must incorporate toilets, water faucets, stall doors, hand air dryers, sinks, trash receptacles, lights and ventilation system. Because of additional maintenance needs, all restrooms must be approved by the Public Works Director. Must be ADA compliant, including pathway to access restroom.
Off-street parking area	Paved off-street parking area, to meet standards in RDC 18.720 for dimensions and design. No minimum or maximum number of spaces required. Parking areas and driveways should be located to minimize conflicts with park users, by locating parking areas around the perimeter of the park. However, parking areas should not dominate the street frontage and reduce visibility of the park itself. Off-street parking is not required for neighborhood parks, but may be appropriate for sites with popular amenities such as an off-leash dog area or sports fields, or parks that offer connections to the trail system.
Picnic shelter	Covered picnic area with minimum 400 SF area with picnic tables and optional cooking facilities such as barbeques. Must incorporate trash receptacles. If provided, picnic tables included at the shelter may meet requirement for minimum picnic tables in park.
Sport field	Fields meeting minimum dimensions for youth soccer, lacrosse, T-ball, baseball and/or softball, or similar sports suitable for practices. Not intended as competition sites. If provided, may substitute in part or full for required open turf area.

Criteria	Description & Requirements
Off-leash dog area	Open area with minimum 25,000 SF size for exercising dogs off leash. Separate spaces for small and large dog areas are recommended if space allows. Site should be general level with slopes no greater than 5% with good drainage. Area must be enclosed with a minimum 4-foot tall fence including a double-entry gate, and rules including hours of use must be posted at gate entrance. Off-leash areas should be surfaced with pervious surfaces such as grass or splinter-less wood chips. Off-leash areas should not be located adjacent to residential properties to minimize noise impacts. Must incorporate a dog waste disposal station and water fountain to provide drinking water for humans and dogs.
Sport court	Smooth-surfaced area for sports, such as half or full-court basketball, tennis, handball, or similar activities. Court should be level with adequate drainage system. Courts should be finished with markings and equipment such as backboards and nets appropriate for intended sport. May be covered.
Alternative recreation court	Provide facility for alternative sports such as bocce ball, horseshoes, lawn bowling, etc.
Fitness stations	Apparatuses for fitness use such as pull-up bars or balance beams, primarily intended for teen and adult park users. Collocate several apparatuses together to increase their utility, such as along a fitness path with multiple stations.
Disc golf course	Design a course with a minimum nine holes including tee pads, tee signs and baskets. Select heavy-duty baskets intended for extended outdoor use. Include signage with course layout and applicable course rules. Design course with sufficient buffers from active areas within park such as pedestrian pathways and play areas to minimize potential conflicts between flying discs and park users.
Mountain bike pump track	Mountain bike course for riders with features to practice basic skills of mountain biking such as pumps, rollers, berms and jumps. Provide tracks and features suitable for a range of abilities. Develop long-term maintenance plan with local volunteer groups and the Public Works Department to ensure specialized facility can be maintained, to be approved by the Public Works Director.
Skatepark	Dedicated areas and features for skateboarders such as bowls, halfpipes, rails, and ramps.

Criteria	Description & Requirements
	Permanent, cast-in-place concrete features are strongly preferred, and prefabricated components may only be used with approval of Public Works Director for specialized applications with an approved long-term maintenance and replacement plan. Install benches and trash receptacles around the perimeter of the skatepark.
Community garden plots	Minimum size of 10 plots. Garden area should be relatively flat, have good solar access, drain well, and have good quality soil. Minimum required amenities should include hose bib(s), yard debris collection area, and equipment storage area for common use. Yard debris and storage areas shall be screened from view of other park users and adjacent properties. Install 4-foot tall, non-sight-obscuring fence with gate around garden perimeter. Post rules for usage at garden entrance, including hours of operation.
Ornamental gardens	Special landscaping areas within park with a particular focus such as a rose garden, pollinator garden, or native garden. Provide pedestrian pathways and benches within the garden for access. Work with Public Works Director on plant selection and long-term maintenance plans prior to installation.
Natural amenities and interpretive signage	Dedicated areas for observing or interacting with natural features such as wetlands, streams, significant views, and wildlife areas including bird watching opportunities with educational signage.
Water feature	Active water features may include fountains or spraygrounds that provide opportunities to play in the water. Spraygrounds should be a minimum of 2,000 SF with a variety of features for a range of ages. Interchangeable parts are encouraged for future flexibility. Locate spraygrounds near play areas for continuity of play. Incorporate benches, picnic tables and shade into the sprayground perimeter for caregivers. Passive amenities may include ponds or streams designed as a visual focal point. Stormwater facilities may be developed into water features if designed to provide aesthetic and functional benefits.
Public art	Incorporate sculpture, murals, and other public art. Art should be durable and designed to weather the elements with low maintenance needs.
Additional features	Additional amenities for passive and active recreation are encouraged, to be approved by the Public Works Director.

Additional Resources

- Consultant's Guide to Park Design and Development; Park and Recreation Department, City of San Diego, CA.
- Design Standards for Park and Trail Development (Specifications); Park and Recreation Department, City of Bellingham, WA.
- Final Guidelines for Outdoor Developed Areas; United States Access Board.
- Handbook for Public Playground Safety; Consumer Product Safety Commission.

**CITY OF RIDGEFIELD
PLANNING COMMISSION**

MEETING DATE: September 07, 2016
ITEM: STAFF REPORTS
AGENDA ITEM TITLE: Community Development Department Update

SUMMARY/BACKGROUND:

STAFF CONTACT: Julie Basarab, City Clerk
ATTACHMENTS: 201608CDDReport_August_Planning (002) (PDF)



RIDGEFIELD COMMUNITY DEVELOPMENT DEPARTMENT

301 N 3rd Ave / PO Box 608
Ridgefield, WA 98642
Tel: (360) 887-3908 / Fax: (360) 887-2507
www.ci.ridgefield.wa.us
Contact: Jeff Niten/Community Development Director
(360)887-3908/jeff.niten@ci.ridgefield.wa.us

6.1.a

DEVELOPMENT SUMMARY: August 2016

Building Division

Summary of Building Permits by Year

Building Permits	2012	2013	2014	2015	2016 (YTD)	August
Total Permits	359	435	378	594	548	83
Commercial/ Industrial Permits	0	4	2	1	2	0
New Home Permits	122	165	104	216	275	36
Miscellaneous Permits	235	266	272	366	273	47
Building Permit Application and Review Fees	\$575,461	\$1,102,631	\$636,561	\$1,001,785	\$964,981	\$

COMMERCIAL/INDUSTRIAL BUILDING PERMITS

Month (2016)	Project	Square Footage	Building Valuation	Status
January	Well Reservoir	4,778	\$997,901	Issued
February	Abrams Park Bathroom	600	\$24,372	Closed
July	Port of Ridgefield – Washington Fish and Wildlife Building	39450	\$3706763.95	Under Review

Totals for Approved Commercial/Industrial Buildings YTD: 3 projects

Month (2015)	Project	Square Footage	Building Valuation	Status
October	ICD Coatings Phase 2	12,240	\$725,850	Closed
May	South 11 th Project	112,569	\$4,799,942.16	Approved

Totals for Approved Commercial/Industrial Buildings 2015: 2 projects **124,809** **\$5,525,792.16**

PENDING PERMITS

Type of Permit	Total
Home permits approved & ready for issuance:	37
Home permits undergoing plan check:	14

Attachment: 201608CDDReport_August_Planning (002) (1068 : Community Development Department Update)

Type of Permit	Total
Commercial/Industrial:	1
Misc.:	8
Grand Total for all Pending Permits:	60

SUBDIVISIONS WITH ISSUED BUILDING PERMITS

Subdivision	Issued Permits	Total Lots
Canterbury Trails	43	69
Canyon View	57	59
Cassini View	34	51
Hawks Landing	25	57
Pioneer Canyon Ph. 4	63	93
Pleasant Ridge	13	14
Ridgefield Woods	34	34
Taverner Ridge Ph. 3	26	27
Taverner Ridge Ph. 4	35	63

Planning Division

PRE-APPLICATION CONFERENCES

Name	Description	Size	Location	Date of Conference	Status
Gee Creek Trail (PLZ-16-0056)	Construct a 1/3-mile new multiuse trail extension connecting to existing Gee Creek Trail	0.66 acres	Along Gee Creek from Abrams Park north to N Heron Drive	Held Aug 9	Final, notes issued
Urban Downs Subdivision (PLZ-16-0061)	Subdivide into 27 single-family lots	7.74 ac	1120 NE 259 th St	Held Aug 23	Conference complete, notes pending
Signal Hound Project (PLZ-16-0062)	Develop 16,000 SF industrial flex building on site with critical areas	2.6 ac	North side of S 11 th St	Held Aug 23	Conference complete, notes pending
Rose Estates Pre-App (PLZ-16-0067)	Subdivide into nine single-family lots	2.84 ac	3600 Pioneer St	Scheduled Sept 13	Staff review

PROJECTS UNDER REVIEW

Name	Description	Size	Location	Key Dates	Status
Cedar Creek Estates (PLZ-15-0050) Type II Post-Decision Review	Amend 2007 subdivision approval to increase number of lots from 29 to 31, adjust road circulation, sewer	10.1 acre site	764 N 32 nd Ct	Revised materials submitted June 29	Staff review
Hillhurst Commercial Center (PLZ-16-0018) Site Plan Review, SEPA Review	Phased development of three neighborhood commercial buildings for retail, restaurant and office use	2.08 acre site, 18,174 SF buildings	SE corner of S Hillhurst Rd and S Sevier Rd	Decision issued Sept 1	Final, approved with conditions
Ridgecrest PUD (PLZ-16-0035, 36 & 37) Preliminary Subdivision Plat, Preliminary PUD, SEPA Review, Critical Areas Review	Divide 143 acres into 339 lots with infrastructure, parks and trail improvements	143 acres	1288 S 45 th Ave	Application found TC Aug 3	SEPA (DNS) final; waiting for revised materials from applicant to develop staff report
Port WDFW Site Plan (PLZ-16-0047, 48) Basic Site Plan, SEPA Review	Construct office/warehouse building with outdoor storage and parking	3.78 acre site, 39,440 SF building	SE corner of S 11 th St and S 51 st Ave	Application found TC Aug 3	SEPA (DNS) and land use notice period closed Aug 31
Kemper Subdivision (PLZ-16-0049) Type III Post-Decision Review	Modify access requirements for residential subdivision; Applicant pursuing PDR as alternative to DA and plat changes	67.4 acre site	NE corner of @ 25 th Pl and S 10 th Way	Received July 7, additional materials provided Aug 24, found TC Sept 2	Staff review
North Junction Pump Station & Trunk Sewer (PLZ-16-0051, 57 & 58) Basic Site Plan, SEPA Review, Critical Areas Review	Install 4,100 LF sewer main, 800 LF sewer force main, and 4,000 SF pump station	Varies	Vicinity of N 10 th St between N 45 th and 65 th Aves	Received July 19, found TC Aug 30	Staff review, public comment period pending
Union Ridge Self Storage (PLZ-16-0052, 53 & 54) Basic Site Plan, SEPA Review, Critical Areas Review	Construct self-storage facility with related site improvements	3.3 ac site, 40,852 SF building	SE corner of S Union Ridge Pkwy & S 10 th St	Received July 25, found TC Aug 26	SEPA & public comment period Aug 31 to Sept 21
Taverner Ridge PH 10 & 11 (PLZ 16-0059, 60) Preliminary PUD, Preliminary Subdivision Plat, SEPA Review	Develop 115 medium density residential lots	16.72 ac	S Sevier Rd & S Hillhurst Rd	Received Aug 8	TC review

Name	Description	Size	Location	Key Dates	Status
Stephenson Manor (PLZ-16-0063) Type II or III Post-Decision Review	Revise preliminary plat to address critical areas and sewer design	13.63 ac	S Hillhurst Rd & S 16 th Place	Received Aug 12	Inactive
19th St Cottages (PLZ-16-0065, 66) Type II Critical Areas Review, SEPA Review	Environmental review for triplex on site with geologic hazards	39,204 SF site	Pioneer St & 19 th Ct	Received Aug 30	TC review

Engineering Division

PROJECTS UNDER REVIEW

Name	Description	Size	Location	Status
S 11th St Industrial Building	warehouse building and site improvements	7.5 acres	5504, 5602, 5664 S 11th St	3rd Engineering Review Complete. Waiting on final plans and storm agreement
Pioneer Place	Residential development	46 Lots	N. 35 th Ave	Engineering Review Complete
Cedar Creek	Residential development	31 Lots	N. 35 th Ave	2 nd Engineering Review underway
Bella Noche	Residential development	34 Lots	N. 35 th Ave	Engineering Review Complete
Taverner Ridge Ph. 8 and 9	Residential development	Ph. 8: 54 lots Ph. 9: 11 lots	South of existing phases	Engineering Review Complete

PROJECTS UNDER CONSTRUCTION

Name	Description	Size	Location	Status
Hawk's Landing	Residential development	57 Lots	Hillhurst Rd, across from High School	Construction substantially complete
Bella Noche	Residential development	34 Lots	N. 35 th Ave	Grading Underway
Pioneer Place	Residential development	46 Lots	N. 35 th Ave	Grading Underway
Taverner Ridge Ph. 8 and 9	Residential development	Ph. 8: 54 lots Ph. 9: 11 lots	South of existing phases	Grading Underway

Ridgefield S.D. Modular Classrooms	Placement of modular classrooms at schools	7 Buildings	Union Ridge, View Ridge and High School	Completed
---	--	-------------	---	-----------

**CITY OF RIDGEFIELD
PLANNING COMMISSION**

MEETING DATE: September 07, 2016

ITEM:

AGENDA ITEM TITLE: Commissioner Updates

SUMMARY/BACKGROUND:

STAFF CONTACT: Julie Basarab, City Clerk

ATTACHMENTS: